



SCOTT COUNTY
ZONING BOARD OF ADJUSTMENT
AGENDA
Wednesday, April 24, 2024
4:00 P.M.

1. **Call to Order**
2. **Attendance**
3. **Approval of Minutes:** Approval of the January 24, 2024 meeting minutes.
4. **Public Hearing – Special Use Permit:** Request from **Emma Taylor (deed holder Chris Dowell)** to allow the use of gravel for a proposed parking lot/circulation area in lieu of the flexible or rigid pavement prescribed in the Zoning Ordinance at the property legally described as Part of the NW ¼ of the NW ¼ of Section 1 of Buffalo Township (Parcel #720101001).
5. **Old Business**
6. **Zoning Administrator’s Report**
7. **Public Comment**
8. **Adjournment**

Public Hearing Procedure:

- a. Chairman reads notice of public hearing.
- b. Director reviews case.
- c. Applicant/Representative speaks on behalf of request.
- d. Public may ask questions or make comments.
- e. Director makes staff recommendation.
- f. Applicant may respond to comments and/or recommendation.
- g. Board members may ask questions.
- h. Chairman closes the public portion of the hearing. (No more comments from public or applicant.)
- i. Discussion period to determine justification for decision.
- j. Board members move to approve, deny, and/or modify request.
- k. Final vote. Case closed. Three members of the Board constitute a quorum. The concurring vote of three members of the Board shall be necessary to reverse any decision or determination of the zoning administrator or to decide in favor of an application for a variance or conditions for a special use permit. The Board of Adjustment is “quasi-judicial” and not a recommending body. Therefore, any appeals to their decisions should be filed with District Court within 30 days of the meeting.

PLANNING & DEVELOPMENT

600 West Fourth Street

Davenport, Iowa 52801-1106

Office: (563) 326-8643

Fax: (563) 326-8257

Email: planning@scottcountyiowa.gov



**SCOTT COUNTY
ZONING BOARD OF ADJUSTMENT
NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Scott County Planning and Development Department has on file the following application as allowed by the Scott County Zoning Ordinance. In accordance with Section 6-32, this Notice is being sent to all property owners of record within 500 feet of the area in question and to appropriate County officials to notify all of a public hearing to be held in the **Meeting Room A/B of the Scott County Library – Eldridge Branch, 200 North 6th Street, Eldridge, Iowa 52748** on **Wednesday, April 24, 2024 at 4:00 P.M.**

The Zoning Board of Adjustment will hear the request from **Emma Taylor (deed holder Chris Dowell)** for a Special Use Permit to allow gravel to cover the proposed parking lot/circulation area in lieu of the flexible or rigid pavement prescribed in the Zoning Ordinance at the property legally described as Part of the NW $\frac{1}{4}$ of the NW $\frac{1}{4}$ of Section 1 of Buffalo Township (Parcel #720101001). The affiliated development, a contractor office, was approved for construction by the Planning and Zoning Commission at a public meeting on April 2, 2024.

If you have questions or comments regarding this meeting or the requested variance please call, write or email the Planning and Development Department, 600 West Fourth Street, Davenport, Iowa 52801, (563) 326-8643, planning@scottcountyiowa.gov or attend the meeting.



Subject Property

140TH ST

110TH AVE

81 140TH ST

818

280

SUTAH AVE

W RIVER DR

Duvenport





140TH ST

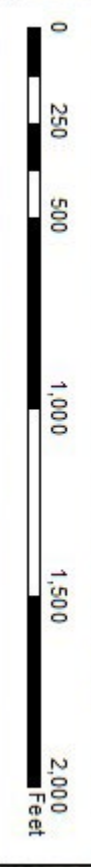
110TH AVE

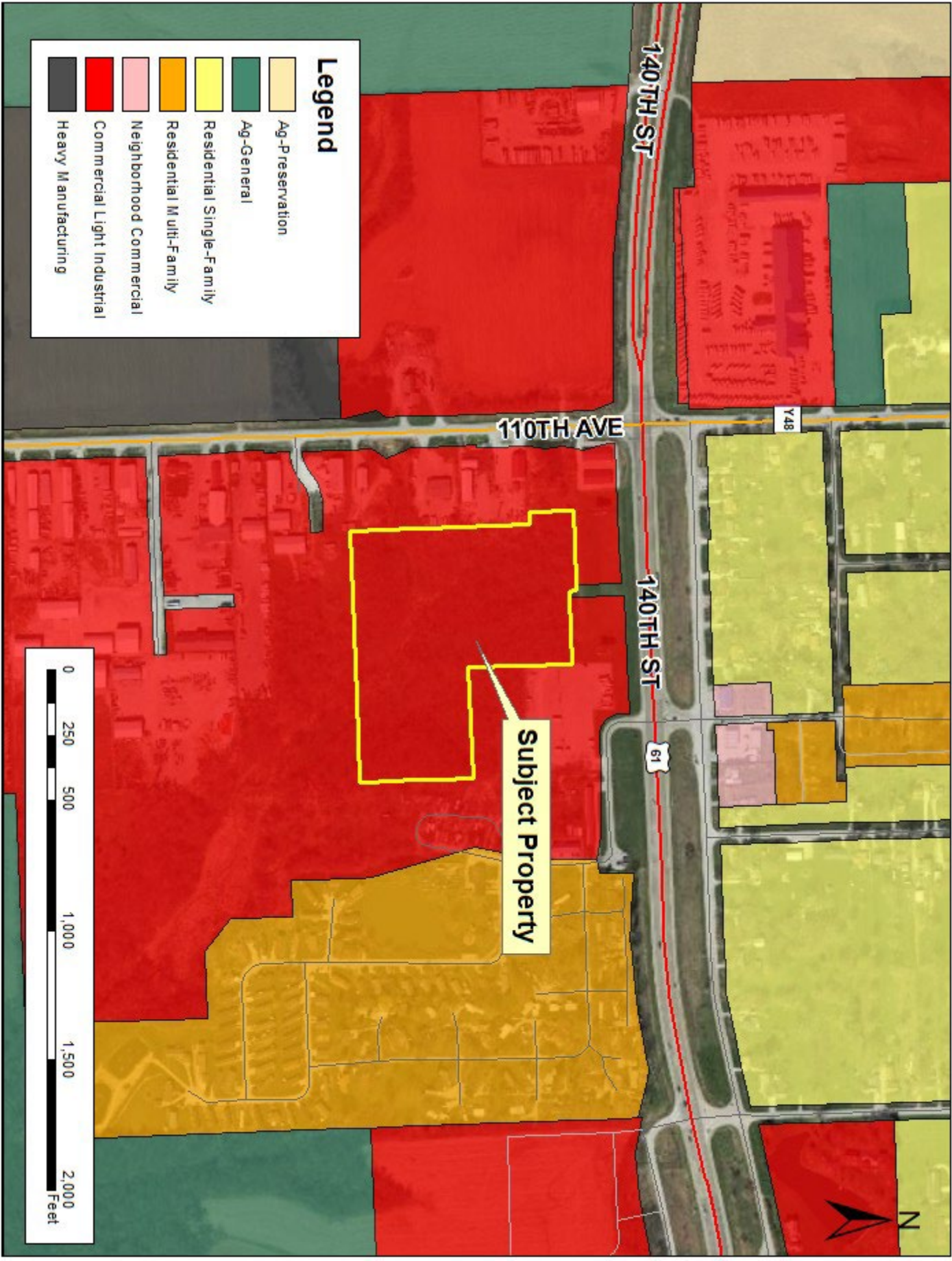
140TH ST

48

61

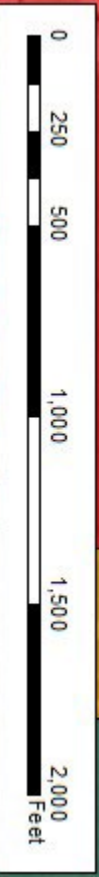
Subject Property





Legend

Light Green	Ag-Preservation
Dark Green	Ag-General
Yellow	Residential Single-Family
Orange	Residential Multi-Family
Pink	Neighborhood Commercial
Red	Commercial Light Industrial
Dark Grey	Heavy Manufacturing



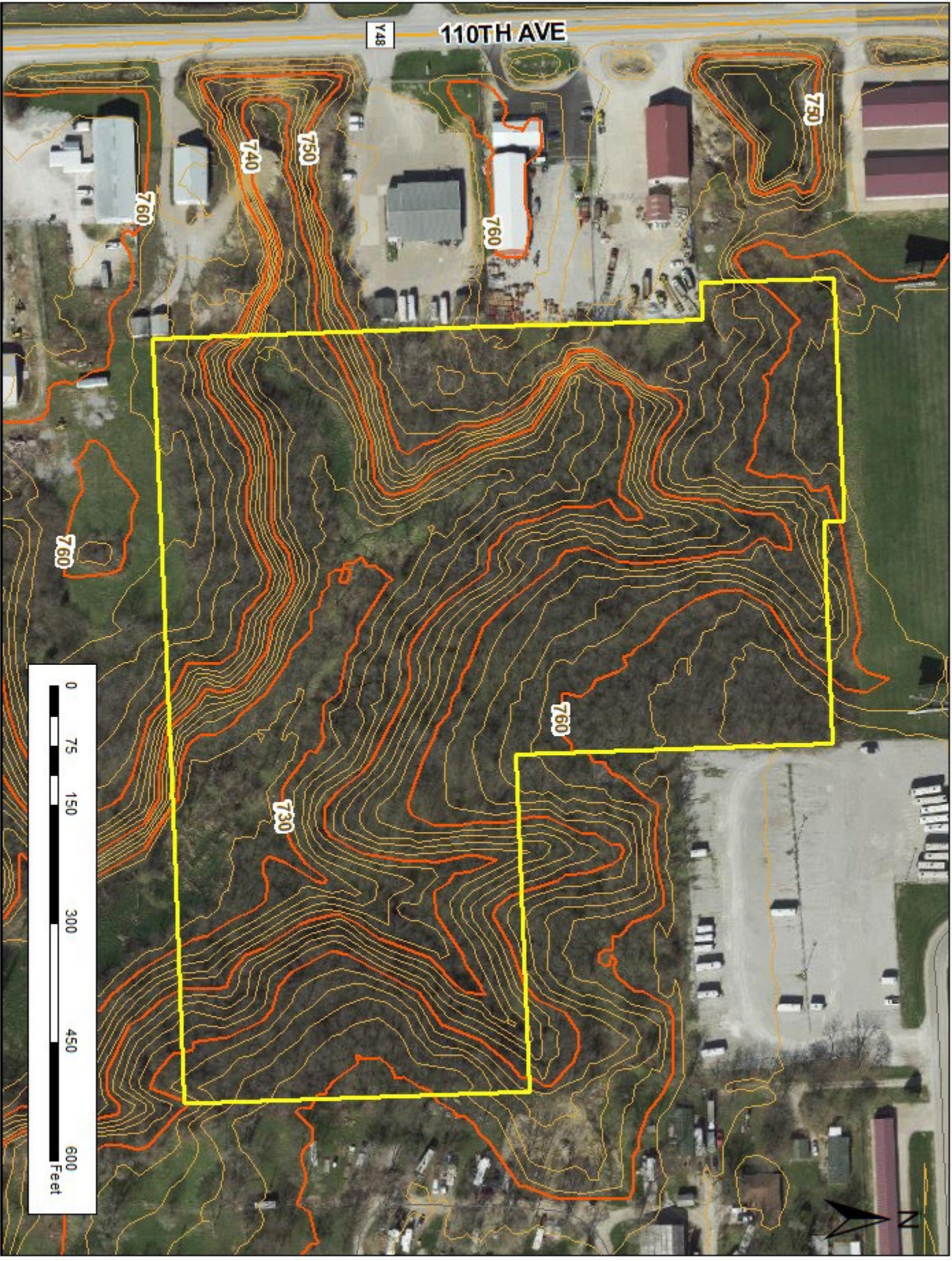
Subject Property





Subject Property





PLANNING & DEVELOPMENT
600 West Fourth Street
Davenport, Iowa 52801-1106
Office: (563) 326-8643 Fax: (563) 326-8257
Email: planning@scottcountyiowa.gov



Date: 3 / 28 / 20 24

Appeal to the Scott County Zoning Board of Adjustment

Applicant

Name: Emma Taylor

Address: 835 Golden Valley Drive

Bettendorf, IA 52722

Phone: (309) 343-9282

Deed Holder or Property Owner

Name: Chris Dowell

Address: 602 2nd Street West

Andalusia, IL 61232

Phone: (309) 738-2611

Address of the affected area: Southwest of 110th Ave & RTE 61 Intersection

Legal description: Part of the northwest quarter of the northwest quarter

Section: 01 Township: 77 Zoning Classification: C2

Check the
appropriate
appeal:

Appeal of the interpretation made by the zoning administrator
of zoning text or map boundaries

Special use permit

Variance to the rules of the Zoning Ordinance

Specifically, I would like to: Use of gravel for the parking lot

I (We) further state that if this request is granted, I (we) will proceed with the actual construction in accordance to the conditions set by the Board of Adjustment, after the application and issuance of a building permit from Planning and Development and in the two (2) year time period as prescribed by Section 6-27.F.(8) of the Zoning Ordinance.

Applicant's Signature Emma Taylor

Deed Holder's Signature Chris Dowell

Fees Paid (Circle one):

Appeal of Interpretation

\$50

Special Use Permit

Less than 5 acres = \$100

5 to 10 acres = \$150

Ten acres or more = \$200

Variance

\$100



PLANNING & ZONING COMMISSION

STAFF REPORT

April 2, 2024



-
- Applicant:** Chris Dowell (DBA Taylor Ridge Paving)
- Request:** Site Plan approval for a new construction contractor office
- Legal Description:** Part of the NW $\frac{1}{4}$ of the NW $\frac{1}{4}$ of Section 1 of Buffalo Township
Scott County Parcel Number 720101001
- General Location:** South of 140th Street (Highway 61) on the unincorporated west side of
Davenport, less than a mile from Interstate 280
- Existing Zoning:** Commercial-Light Industrial (C-2)
- Surrounding Zoning:**
- North:** Commercial-Light Industrial (C-2)
 - South:** Commercial-Light Industrial (C-2)
 - East:** Commercial-Light Industrial (C-2)
 - West:** Commercial-Light Industrial (C-2)

GENERAL COMMENTS & STAFF REVIEW: In accordance with Section 6-31 of the Scott County Zoning Ordinance, approval of a site plan is required by the Planning and Zoning Commission for new developments, substantial improvements to existing developments, as well as change in use or re-occupancy of existing developments. A site plan review affords the Commission the chance to ensure that minimum County development standards are met.

The applicant is proposing a **new development** for the above-referenced property.

Land Use

Despite its C-2 zoning designation, the 16.8-acre subject property has long-remained undeveloped. The applicant intends to establish a new contractor office, which would include an office space, small shop for vehicles and other assets affiliated with the business, and storage space, which is a principal permitted use in the C-2 district. A contractor office would be an appropriate highway commercial use along Highway 61, and would be compatible the nearby land uses, which include other contractor offices, indoor/outdoor storage facilities, light industry, and a large RV dealership.

Staff requested and the applicant has provided preliminary building plans showing interior layout and elevation renderings, which are enclosed in this report.



Access and Roadways

The subject property does not have frontage along any public roadway easements. An easement on the north-adjacent parcel (Scott County Parcel Number 7201011152, deed-holder VTJ Properties LLC) connecting the subject property to 110th Avenue is the only means of ingress and egress. Staff will recommend as a condition of approval that the applicant and VTJ Properties LLC come to an agreement on the use, design, installation, and maintenance of any access drive within that easement.

The County Engineer has requested and staff will recommend that the entrance construction plan sheet submitted as part of VTJ Properties LLC's Site Plan approval (meeting date September 19, 2023) be identical to the entrance construction plan sheet for this Site Plan and vice-versa.

Off-Street Parking

The applicant has confirmed that the proposed contractor office would not generate customer traffic or be open to the general public. Therefore, staff believes there is adequate parking and circulation area for employees to meet the off-street parking requirements in Section 6-29.

However, the County off-street parking regulations require that all parking and circulation areas be hard surfaced, and the applicant is proposing using gravel. The request to vary from hard surfaced paving requirements is actually done by Special Use Permit in the Code. Therefore, the applicant will need to obtain a Special Use Permit from the Zoning Board of Adjustment in order to use gravel as opposed to a hard surface.

Screening, Landscaping, and Lighting

Section 6-31 reads, "...The developer shall provide for fences, landscaping, and other improvements as are deemed proper and necessary to buffer the proposed use from existing or surrounding land uses."

The applicant intends to install a six-foot (6') black chain link fence along the north, east, and west perimeter, including an automatic slide gate at the north ingress/egress point. The fence itself is more a security feature than an effective screen. However, given the subject property is not easily visible from any public streets, is within a commercial-light industrial district, and is within a wooded ravine, staff would not recommend requiring additional screening.

The applicant did not submit a landscaping plan, but since the subject property is not easily visible from any public streets and is within a wooded ravine, staff will not recommend requiring additional landscaping as a condition of approval.



The applicant does not intend to install new outdoor lighting, so the project is not subject to the lighting standards of Section 6-31. Staff will recommend that, should the applicant install new outdoor lighting at some point in the future, a lighting plan must be submitted to and approved by the Zoning Administrator prior to installation. The maximum allowable foot-candle at any lot line is 1 foot-candle.

Storm Water Management

Regulations require all internal impervious surfaces to be adequately drained and controlled on-site with detention facilities sufficient to capture the post-development runoff of a 24-hour, one hundred (100) year storm. Additionally, the release rate of storm water out of the detention facility shall be restricted so as not to exceed the volume produced by a five (5) year storm when measured at the pre-developed flow rates.

The County Engineer has received, reviewed, and approved the required storm water calculations for the proposed on-site detention facility, and has requested and staff will recommend that the applicant submit copies of any inspection reports produced as part of any National Pollutant Discharge Elimination System (NPDES) permitting process to the County Engineer.

Other Entities Notified and Public Comment

The **County Engineer's** comments were included in the appropriate sections in this report.

Jack Hoskins, Environmental Health Specialist with the Scott County **Health Department** noted the applicant should avoid or minimize any dirt work until they have chosen an area for the septic system.

Since no building permit applications have been submitted at this point, the Scott County **Building Inspector** did not provide comment.

Since Site Plan Review items are not public hearings, there are no publishing requirements so no legal notice was published. Property owners within 500' of the subject property were sent a meeting notice and agenda for the meeting. Staff has not, as of yet, received any questions or comments.

RECOMMENDATION: Staff recommends that the Site Plan be approved for the proposed contractor office with the following conditions:

1. The entrance construction plan sheet submitted as part of VTJ Properties LLC's Site Plan approval (meeting date September 19, 2023) be identical to the entrance construction plan sheet for this Site Plan and vice-versa;



PLANNING & ZONING COMMISSION

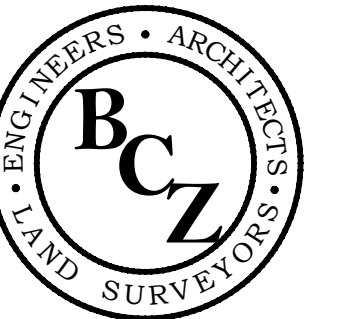
STAFF REPORT

April 2, 2024



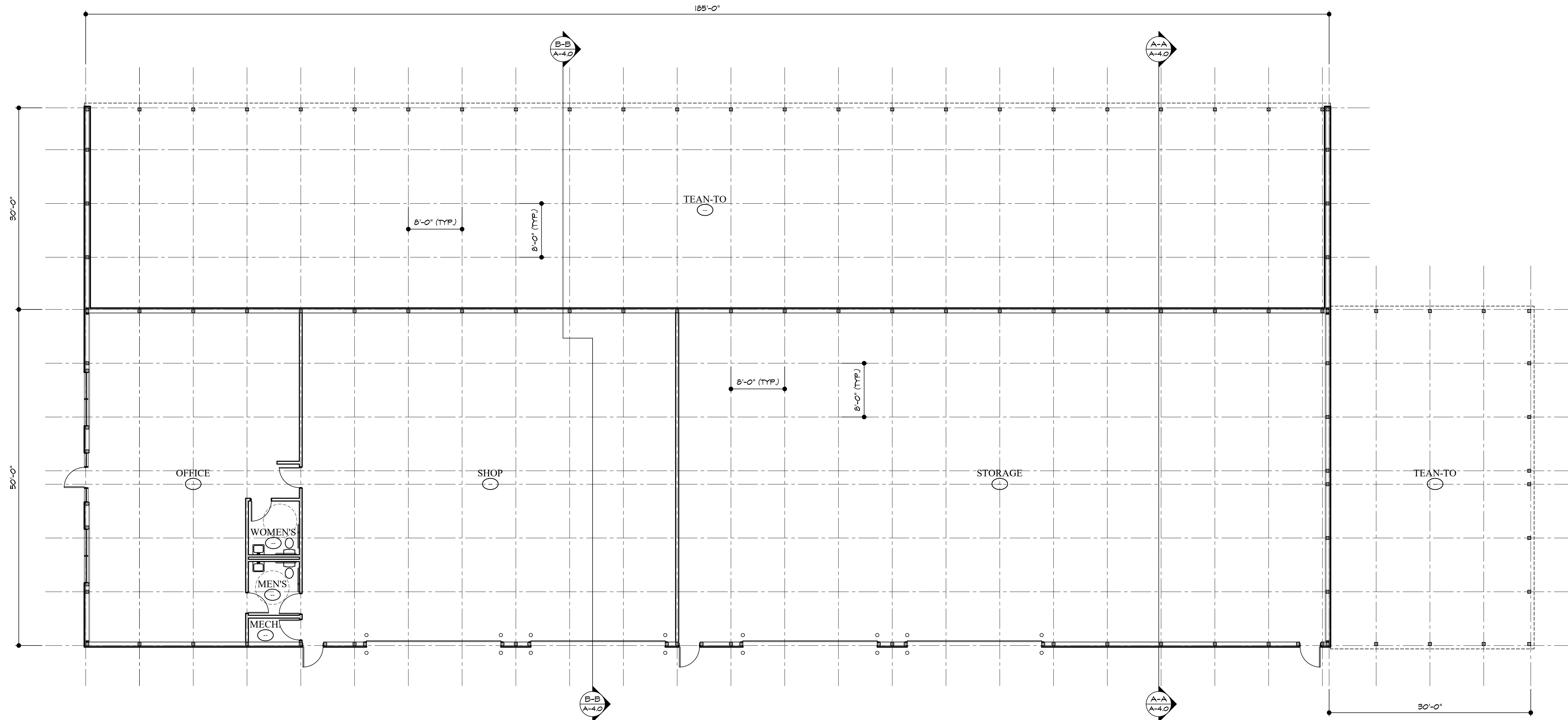
-
2. If the applicant installs outdoor lighting after approval of this Site Plan, a lighting plan compliant with adopted lighting standards be submitted to and approved by the Zoning Administrator;
 3. The applicant and adjacent property owner (VTJ Properties LLC) come to an agreement on the use, design, installation, and maintenance of any access drive within the platted access easement on VTJ Properties LLC's parcel;
 4. The applicant submit copies of any inspection reports produced as part of any NPDES permitting process to the County Engineer; and
 5. The Commission accept the pending decision of the Zoning Board of Adjustment on the Special Use Permit request regarding paving requirements. Tentative hearing date: April 24, 2024.

Submitted by:
Alan Silas, Planning & Development Specialist
March 29, 2024



DRAWING KEY NOTES

① ...



PRELIMINARY
FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"
TRUE NORTH PROJECT NORTH
①
A-1.0

GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS & NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK.

TAYLOR RIDGE PAVING
NEW FACILITY
US 61 - BLUES HIGHWAY
DAVENPORT, IOWA 52804
SCOTT COUNTY

ISSUE RECORD

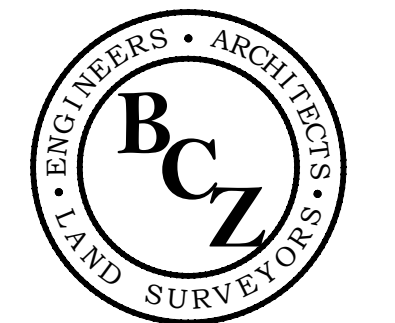
NO.	DATE	DESCRIPTION
1	02/12/2024	P

P PRELIMINARY
R REVISION
C BID DOCUMENTS
A FOR CONSTRUCTION RECORD DOCUMENTS

PROGRESS PRINT
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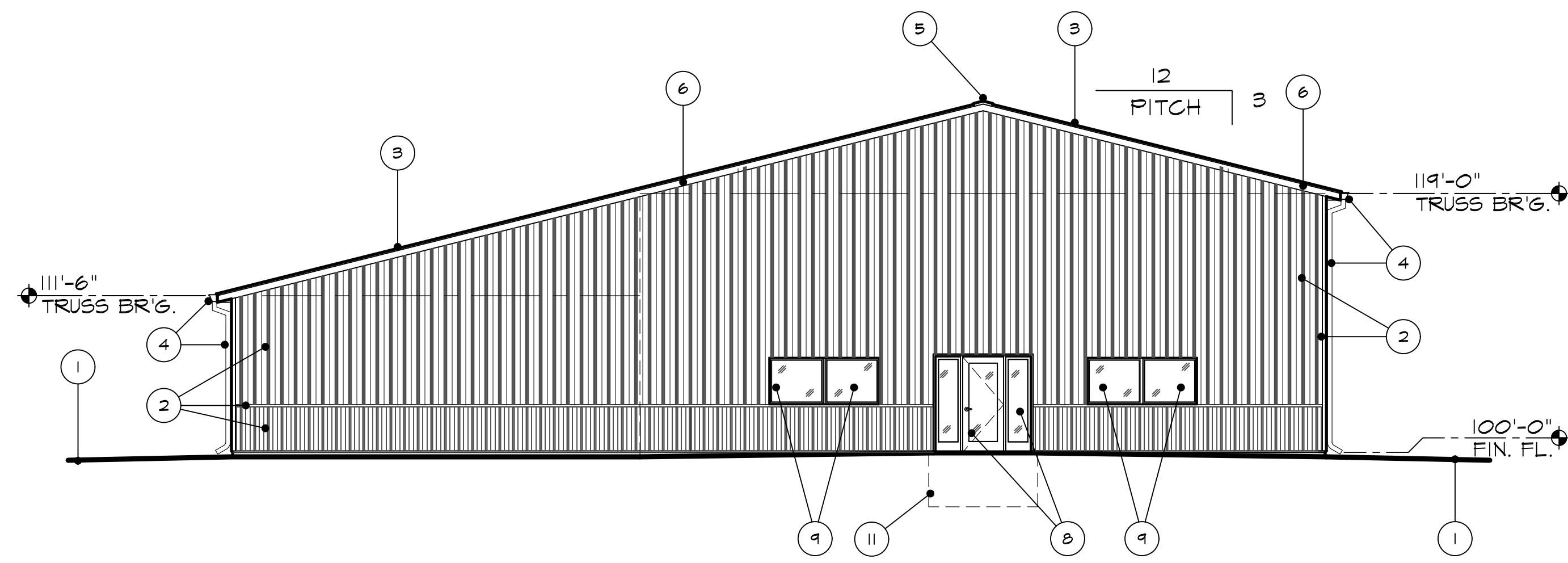
PROPOSED FLOOR PLAN
A-1.0

T:\2024\PROJECTS\2024051-3 TAYLOR RIDGE PAVING DAVENPORT\DESIGN\DRAWINGS_ARCHITECTURAL

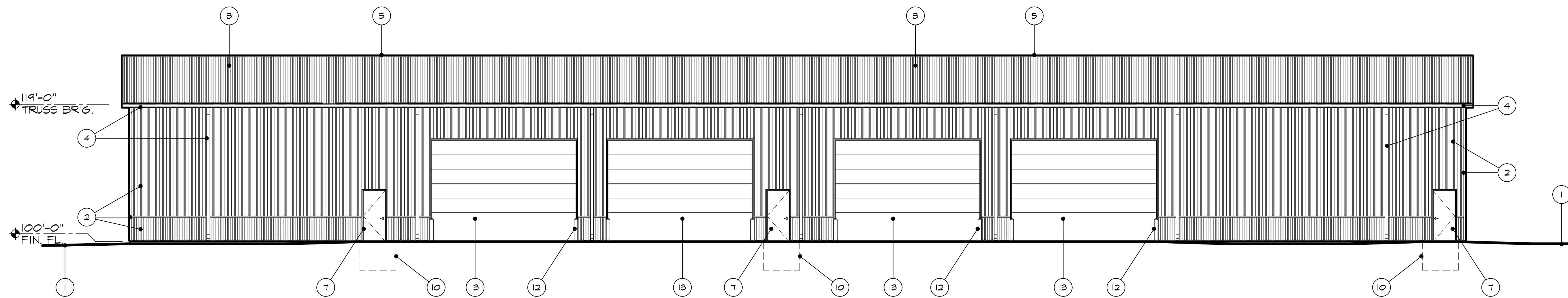


DRAWING KEY NOTES

- ① VERIFY GRADE ELEVATION -SEE CIVIL DRAWINGS FOR ADDITIONAL DRAWINGS FOR ADDITIONAL INFO.
- ② 26 GA. PRE-FINISHED METAL BUILDING SIDING & TRIM.
- ③ 26 GA. PRE-FINISHED METAL ROOFING.
- ④ PRE-FINISHED SHEET METAL GUTTER & DOWNSPOUT.
- ⑤ 26 GA. PRE-FINISHED CONTINUOUS METAL BUILDING RIDGE.
- ⑥ 26 GA. PRE-FINISHED METAL BUILDING RAKE/TRIM.
- ⑦ INSULATED HOLLOW METAL DOOR W/ WOOD FRAME (PAINT DOOR AND COVER FRAME W/ PRE-FINISHED METAL FINISHING).
- ⑧ PRE-FINISHED METAL GLAD DOOR & SIDELITES.
- ⑨ PRE-FINISHED METAL GLAD FIXED PICTURED WINDOW.
- ⑩ REINF. 5'x5' MIN. FROST-PROTECTED STOOP.
- ⑪ REINF. 8'x5' MIN. FROST-PROTECTED STOOP.
- ⑫ 6"Ø CONCRETE FILLED PIPE BOLLARD (TYP.) -PAINT.
- ⑬ INSULATED SECTIONAL OVERHEAD DOOR (TYP.).



PRELIMINARY
1 NORTH ELEVATION
SCALE 1/8" = 1'-0"



PRELIMINARY
2 WEST ELEVATION
SCALE 1/8" = 1'-0"

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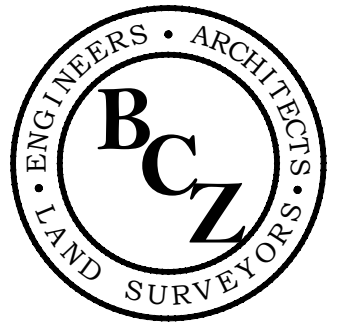
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R REVISION
C BID DOCUMENTS
A FOR CONSTRUCTION RECORD DOCUMENTS

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GENERAL NOTES:

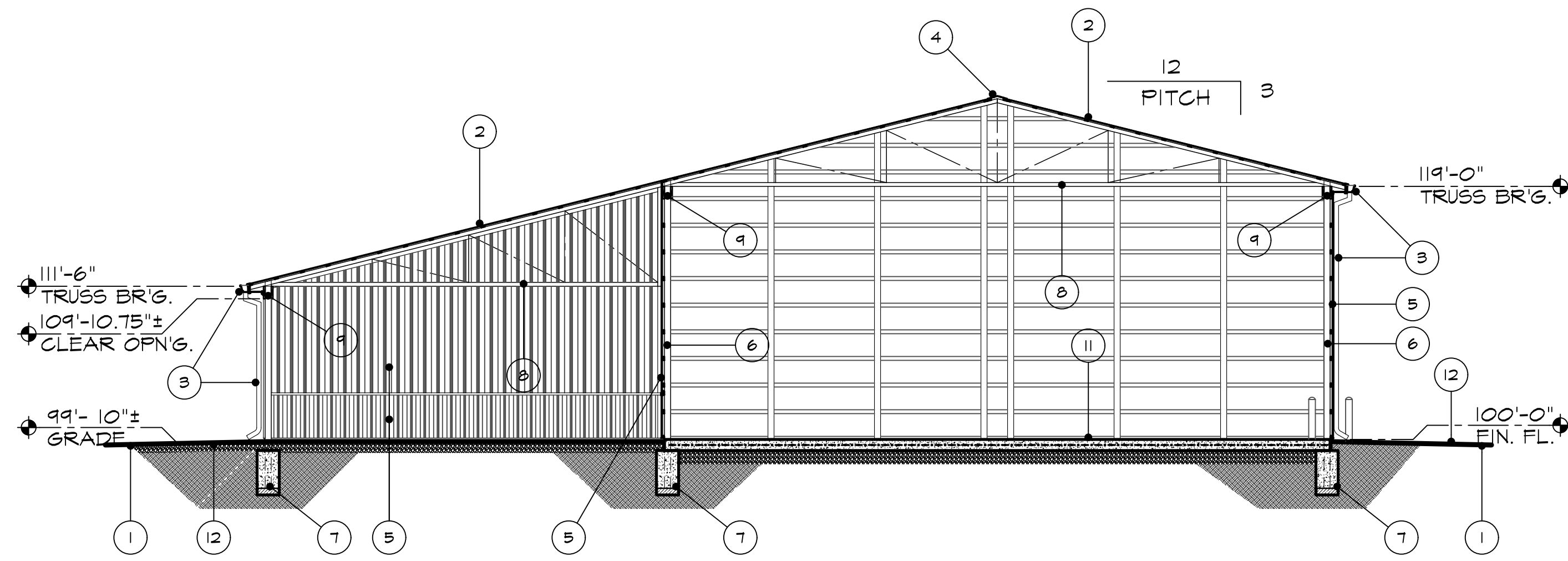
- 1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS & NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK.

**PROPOSED
EXT. ELEVATIONS**
A-3.0

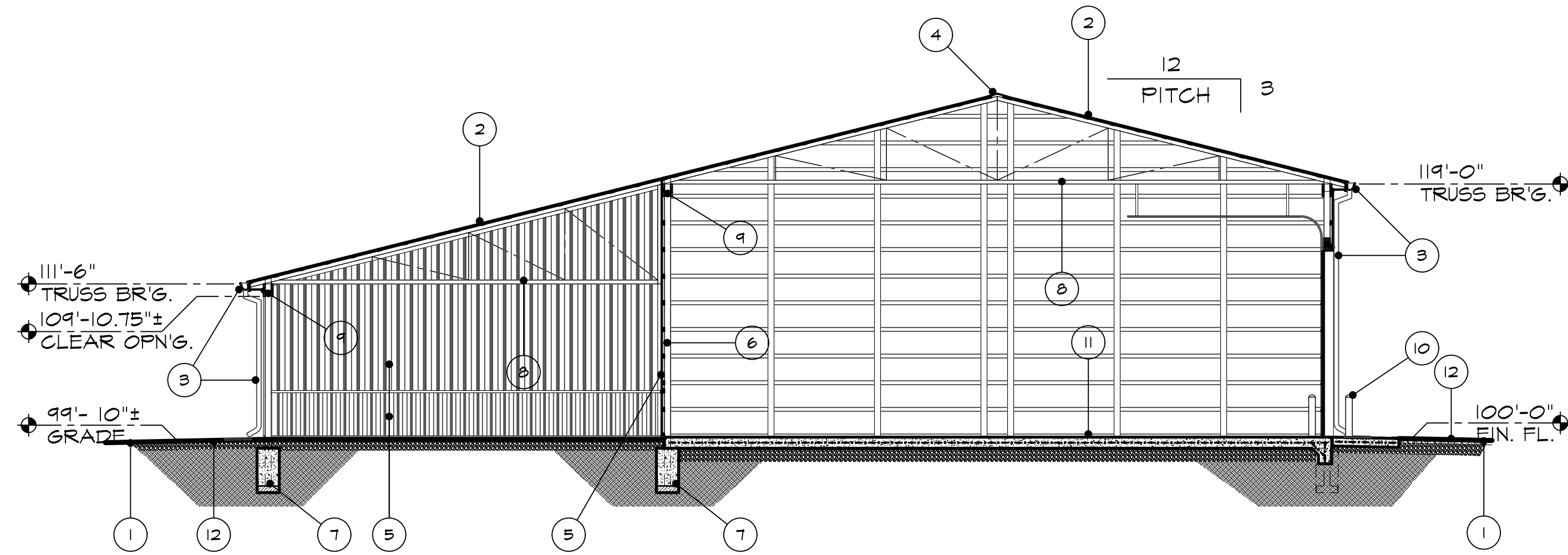


DRAWING KEY NOTES

- 1 VERIFY GRADE ELEVATION -SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- 2 26 GA. PRE-FINISHED METAL ROOFING OVER 2"x4" PURLINS @ 24" O.C. OVER PRE-ENGINEERED WOOD TRUSS.
- 3 PRE-FINISHED SHEET METAL GUTTER & DOWNSPOUT.
- 4 26 GA. PRE-FINISHED CONTINUOUS METAL RIDGE.
- 5 26 GA. PRE-FINISHED METAL BUILDING SIDING OVER 2"x4" GIRTS OF POST FRAME BUILDING WALL.
- 6 POST FRAME BUILDING WALL -6"x6" TREATED WOOD COLUMNS w/ 2"x4" EXTERIOR GIRTS @ 24" O.C. EXTERIOR BOTTOM SKIRT BOARD TO BE TREATED T&G (ALL GIRTS TO BE SOUTHERN YELLOW PINE NO. 1 OR BETTER), TYVEK (NOT SHOWN) TO BE INSTALLED BETWEEN GIRTS & METAL SIDING.
- 7 CONCRETE FOUNDATION SURROUND @ EACH 6"x6" TREATED WOOD COLUMN w/ CONCRETE COOKIE AT BOTTOM OF FOUNDATION HOLE. -SEE STRUCTURAL DINGS FOR SIZING.
- 8 PRE-ENGINEERED WOOD TRUSS AT 4'-0" O.C. w/ 2"x ANCHOR BOARD AT EXTERIOR WALL.
- 9 2"x12" HEADER EACH SIDE OF 6"x6" TREATED WOOD COLUMNS.
- 10 6"ø CONCRETE FILLED PIPE BOLLARD (TYP) -PAINT.
- 11 10" REINFORCED CONCRETE FLOOR SLAB OVER VAPOR BARRIER OVER COMPACT GRANULAR FILL. -SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 12 DRIVEWAY SURFACE -SEE CIVIL DRAWINGS FOR MATERIAL AND ADDITIONAL INFORMATION.



PRELIMINARY
BUILDING SECTION 'A-A'
SCALE 1/8" = 1'-0"



PRELIMINARY
BUILDING SECTION 'B-B'
SCALE 1/8" = 1'-0"

TAYLOR RIDGE PAVING
NEW FACILITY
US 61 - BLUES HIGHWAY
DAVENPORT, IOWA 52804
SCOTT COUNTY

ISSUE RECORD

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P PRELIMINARY
R REVISION
C BID DOCUMENTS
A FOR CONSTRUCTION RECORD DOCUMENTS

PROGRESS PRINT
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PROPOSED
BUILDING SECTIONS

A-4.0

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS & NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK.



SITE CONSTRUCTION PLANS

WEST DAVENPORT SITE DESIGN

HIGHWAY 61 AND 110TH AVENUE

DAVENPORT, IOWA

INDEX OF SHEETS

- C1 COVER SHEET
- C2 GENERAL NOTES AND LEGEND
- C3 EXISTING CONDITIONS AND REMOVAL PLAN
- C4 EROSION AND SEDIMENT CONTROL PLAN
- C5 SITE PLAN
- C6 GRADING AND UTILITY PLAN
- C7 DETAILS
- C8 SUDAS DETAILS



LOCATION MAP
DAVENPORT, IOWA
NTS

image by google earth

SITE IMPROVEMENT PLANS

HIGHWAY 61 AND 110TH AVENUE
DAVENPORT, IOWA
SCOTT COUNTY

- ISSUE RECORD -

P PRELIMINARY
R REVISION
C BID DOCUMENTS
A FOR CONSTRUCTION RECORD DOCUMENTS

COVER

C1



SIGNED THIS 12 DAY OF Feb, 2024

[Signature]
KEVAN J. COOPER,
IOWA LICENSED PROFESSIONAL ENGINEER NO. 15471

LICENSE RENEWAL DATE: 12/31/2025

SHEETS COVERED BY THIS SEAL C1-C8

T:\2024\PROJECTS\0023227-3 WEST DAVENPORT SITE DESIGN - JIM ABBITT\DESIGN\DRAWINGS\PRODUCTION\0023227-3 EX CONDITIONS - REMOVAL.DWG

Emma Taylor

2/12/2024 9:06:09 AM



Bruner, Cooper & Zuck, Inc.

Engineers Architects Land Surveyors

188 East Simmons Street
Galesburg, Illinois 61401
309.343.9282

308 North 3rd Street
Burlington, Iowa 52601
319.752.9282

835 Golden Valley Drive
Bettendorf, Iowa 52722
563.355.1856

IL PROFESSIONAL DESIGN FIRM:
LS / ARC / PE / SE 184002633-0015



SITE IMPROVEMENT PLANS

HIGHWAY 61 AND 110TH AVENUE DAVENPORT, IOWA SCOTT COUNTY

- ISSUE RECORD -

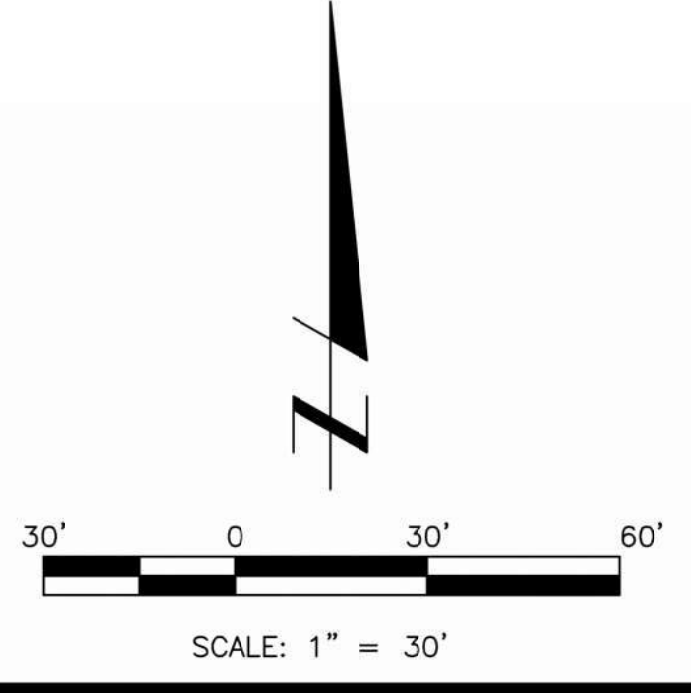
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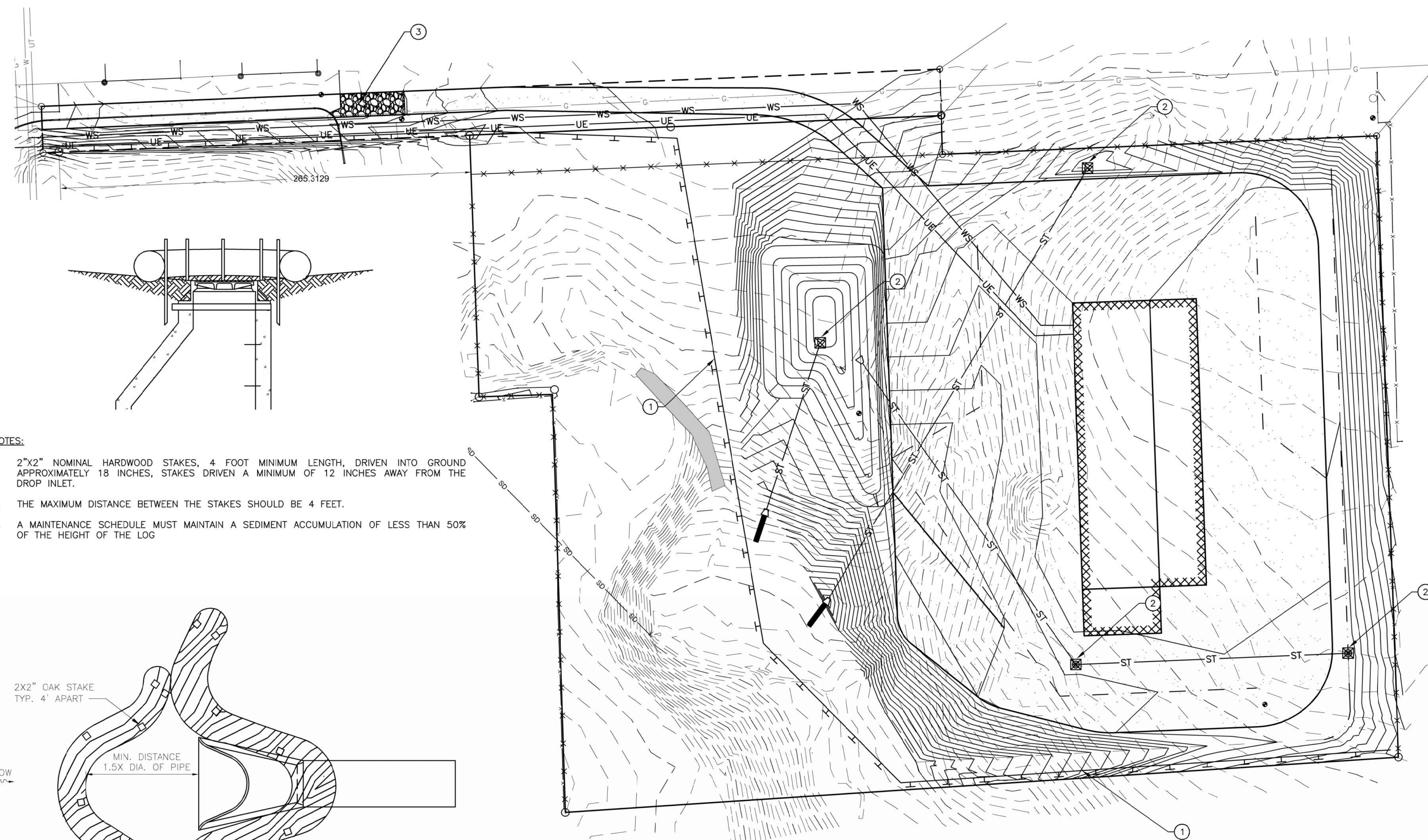
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C FOR CONSTRUCTION
A RECORD DOCUMENTS

EXISTING
CONDITIONS
AND REMOVAL

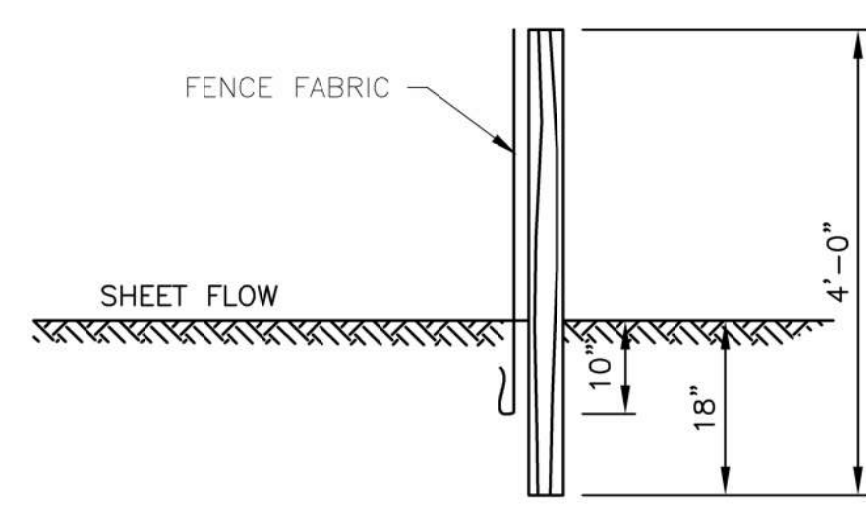
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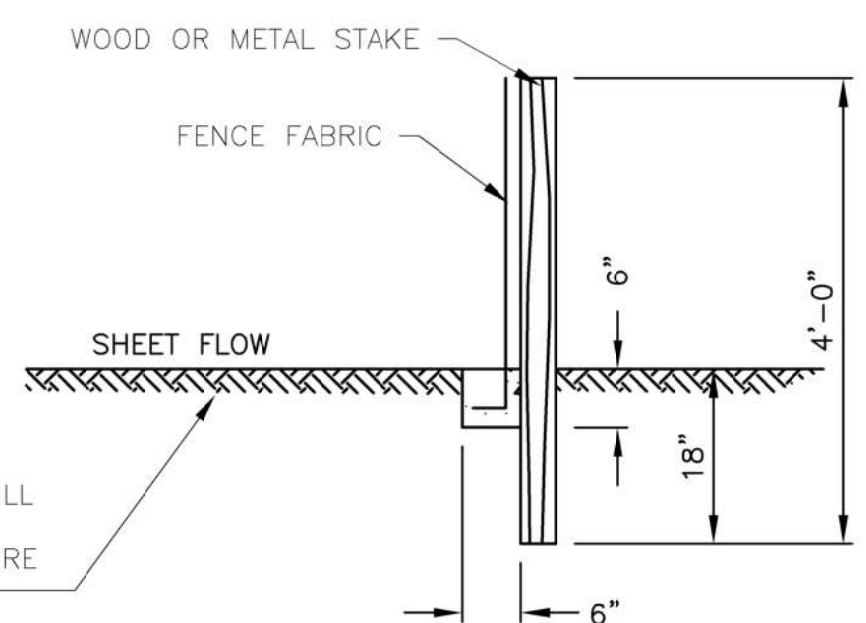




- NOTES:**
1. 2"x2" NOMINAL HARDWOOD STAKES, 4 FOOT MINIMUM LENGTH, DRIVEN INTO GROUND APPROXIMATELY 18 INCHES, STAKES DRIVEN A MINIMUM OF 12 INCHES AWAY FROM THE DROP INLET.
 2. THE MAXIMUM DISTANCE BETWEEN THE STAKES SHOULD BE 4 FEET.
 3. A MAINTENANCE SCHEDULE MUST MAINTAIN A SEDIMENT ACCUMULATION OF LESS THAN 50% OF THE HEIGHT OF THE LOG.

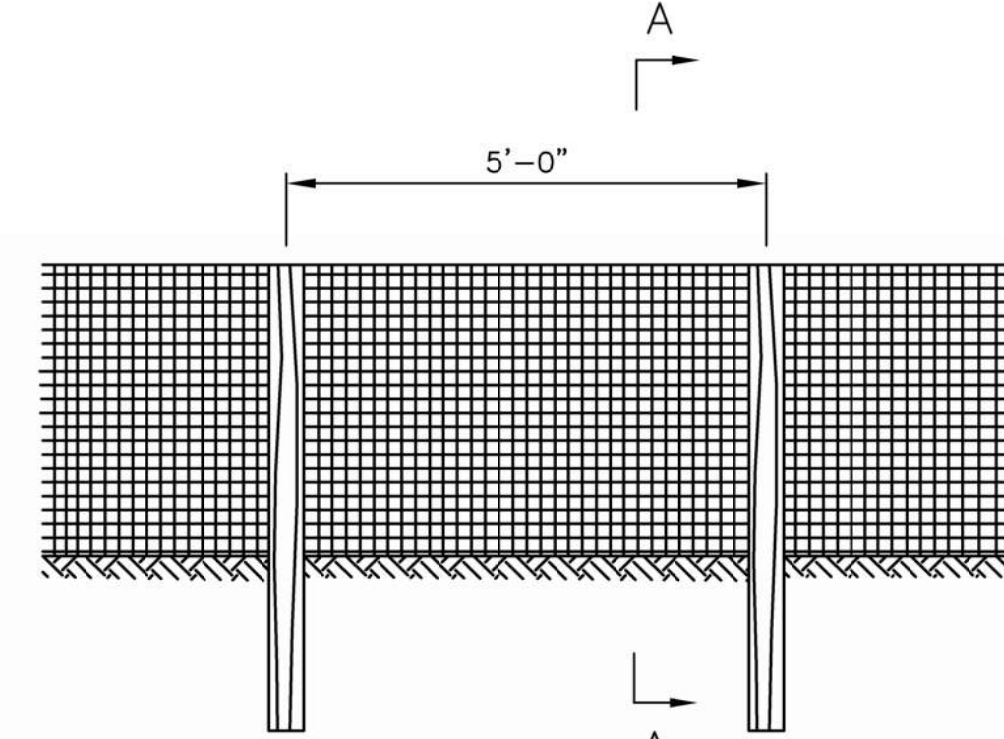


SLICE METHOD



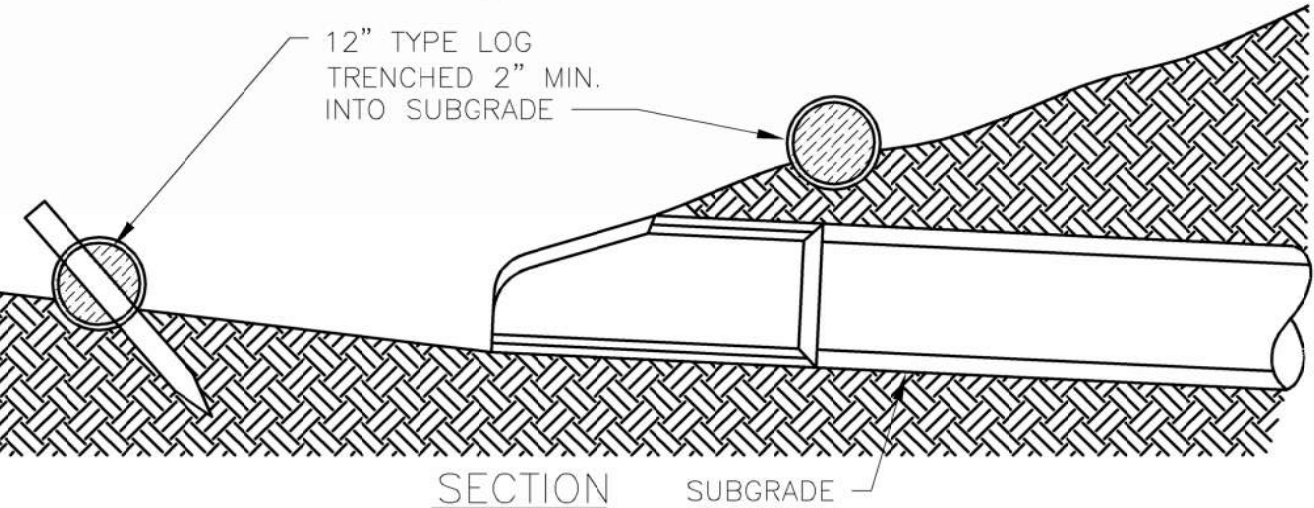
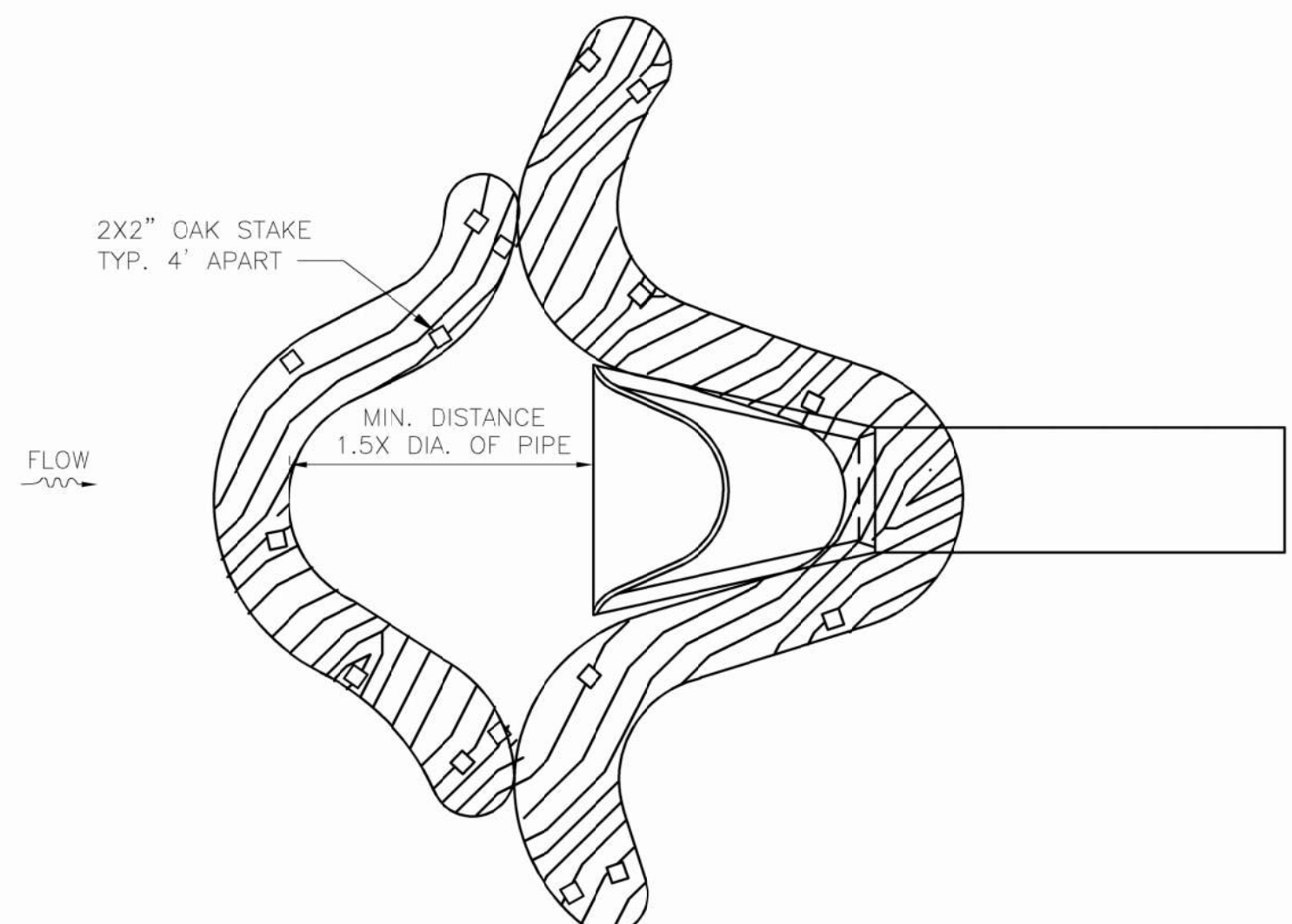
TRENCH METHOD

SECTION A-A

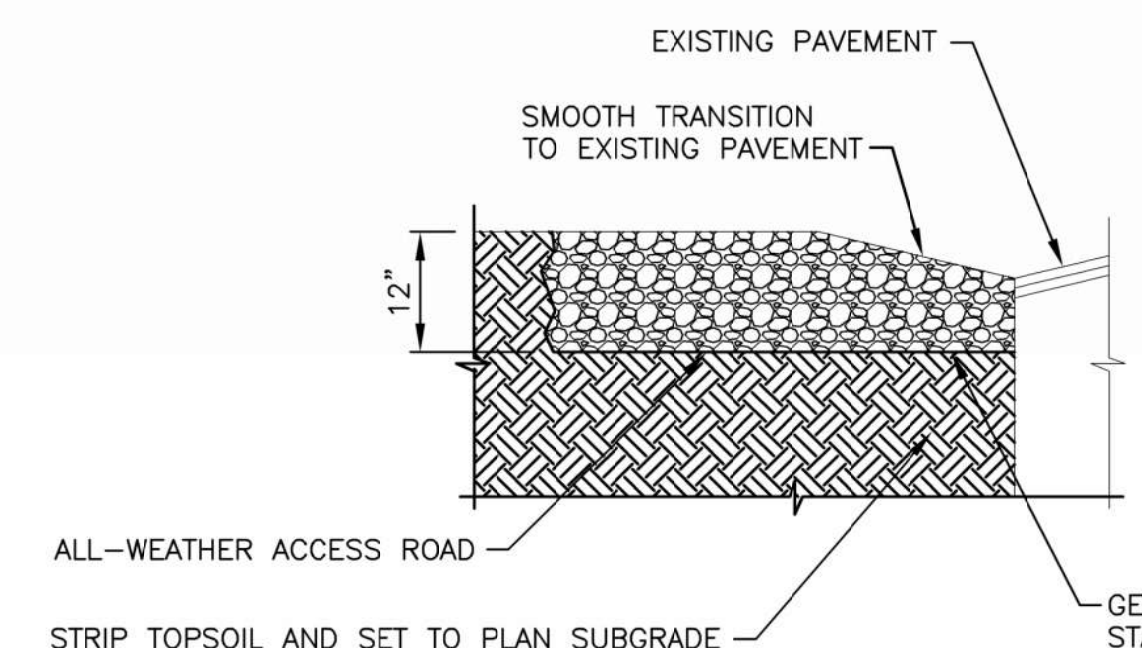


ELEVATION

**SILT FENCE
PERIMETER EROSION BARRIER**
SCALE: NONE

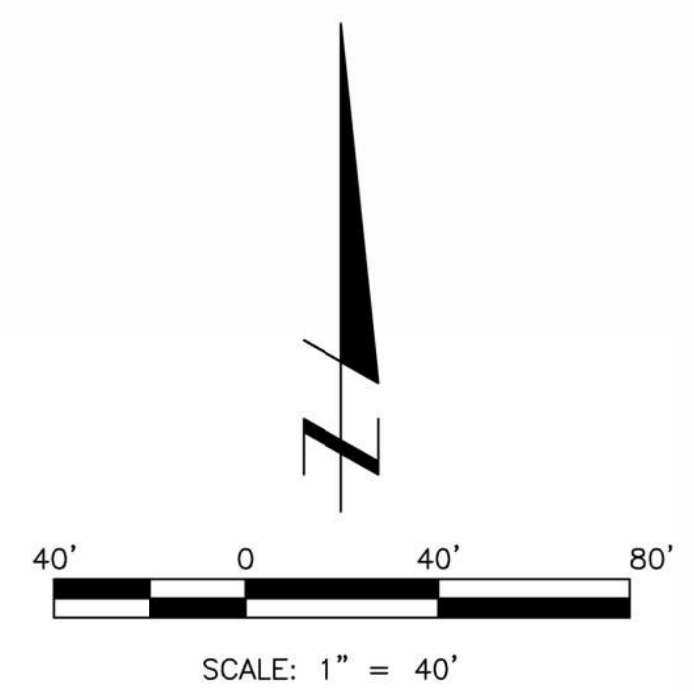


PIPE PROTECTION LOG TYPE
SCALE: NONE



- NOTES:**
1. USE #2 STONE MINIMUM. MINIMUM 20' WIDTH. MINIMUM 12" THICK.
 2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND/OR REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 3. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS DONE, IT SHALL BE DONE IN AN AREA STABILIZED WITH STONE AND WHICH DRAINS TO AN APPROVED SEDIMENT TRAPPING DEVICE.
 4. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO A PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 5. ACCESS PERMIT TO PUBLIC ROADS MUST BE OBTAINED PRIOR TO CONSTRUCTION.
 6. MINIMUM ROAD WIDTH SHALL BE 20'-0".

TEMPORARY CONSTRUCTION ENTRANCE
SCALE: NONE



EROSION CONTROL LEGEND

	① PERIMETER EROSION BARRIER
	② INLET & PIPE PROTECTION
	③ TEMPORARY CONSTRUCTION ENTRANCE



SITE IMPROVEMENT PLANS

HIGHWAY 61 AND 110TH AVENUE
DAVENPORT, IOWA
SCOTT COUNTY

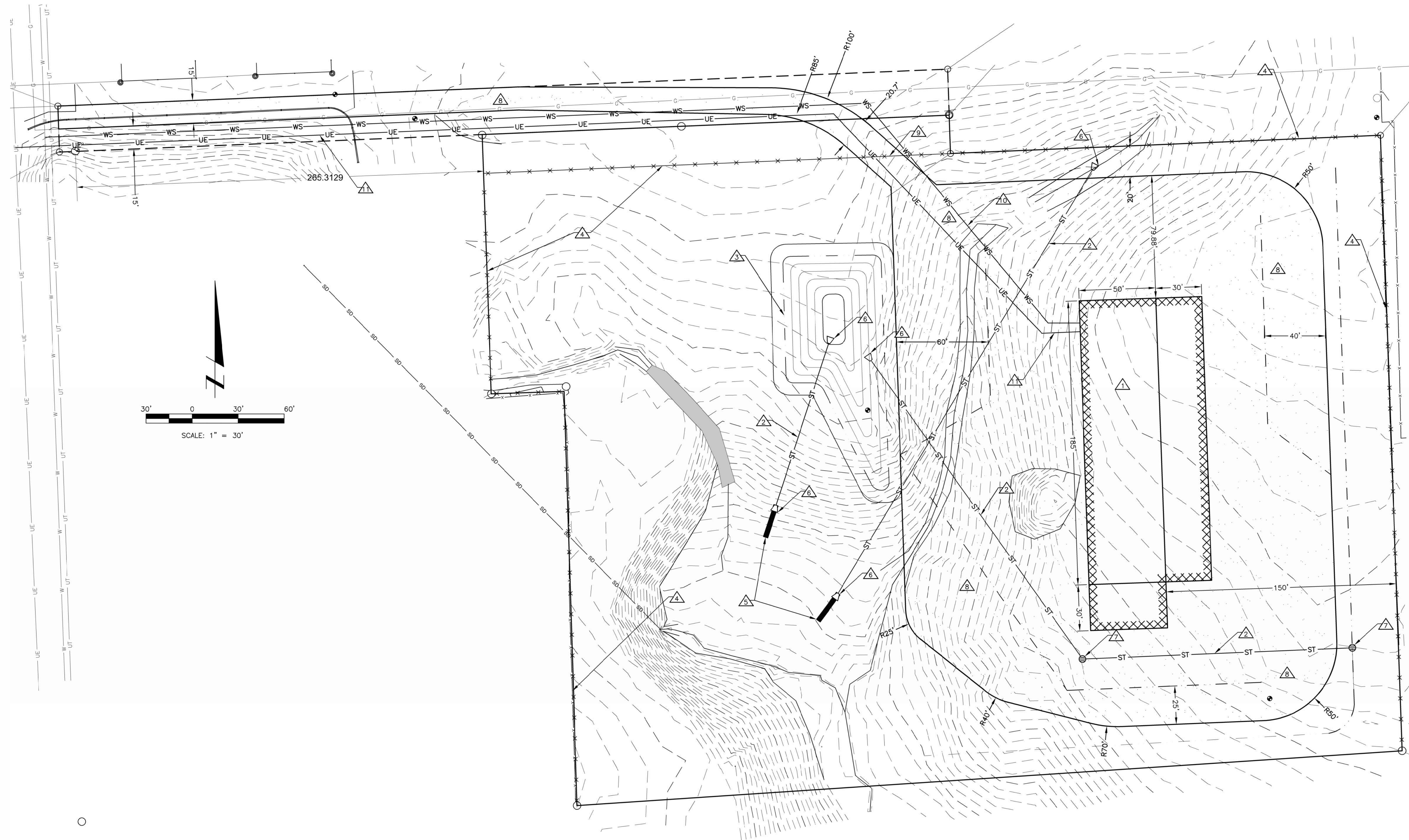
- ISSUE RECORD -

NO.	DATE	DESCRIPTION

P PRELIMINARY
R REVISION
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C FOR CONSTRUCTION
A RECORD DOCUMENTS

SITE PLAN

C5



SITE PLAN NOTES (Δ'S):

1. PROPOSED 185' X 50' BUILDING.
2. PROPOSED HDPE STORM SEWER - SEE GRADING PLAN.
3. PROPOSED STORM WATER DETENTION POND - SEE GRADING PLAN.
4. PROPOSED 6" BLACK CHAIN LINK FENCE.
5. PROPOSED RIP RAP.
6. PROPOSED FLARED END SECTION.
7. PROPOSED STORM INLET.
8. PROPOSED AGGREGATE PAVEMENT.
9. PROPOSED AUTOMATED SLIDE GATE.
10. PROPOSED 2 INCH WATER SERVICE TO BE INSTALLED.
11. PROPOSED UNDERGROUND ELECTRIC TO BE INSTALLED.

Bruner, Cooper & Zuck, Inc.

Engineers Architects Land Surveyors

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835 Golden Valley Drive
Bettendorf, Iowa 52722
563.355.1856

IL PROFESSIONAL DESIGN FIRM:
LS / ARC / PE / SE 184002633-0015



WWW.BCZENGINEERING.COM

SITE IMPROVEMENT PLANS

HIGHWAY 61 AND 110TH AVENUE
DAVENPORT, IOWA
SCOTT COUNTY

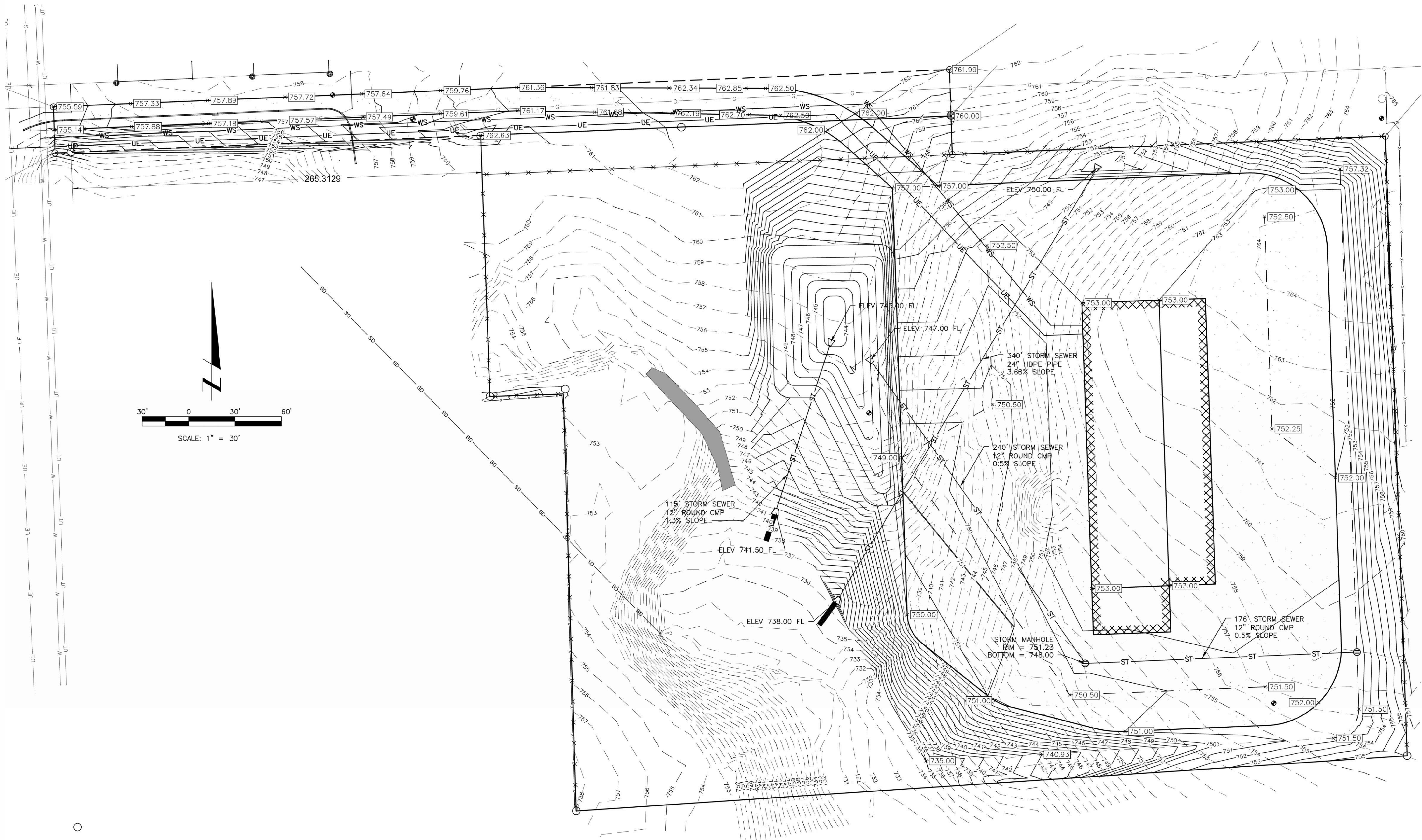
- ISSUE RECORD -

P PRELIMINARY
R REVISION
B BID DOCUMENTS
C FOR CONSTRUCTION
A RECORD DOCUMENTS

GRADING AND UTILITIES

C6

2023227-3 02-12-2024

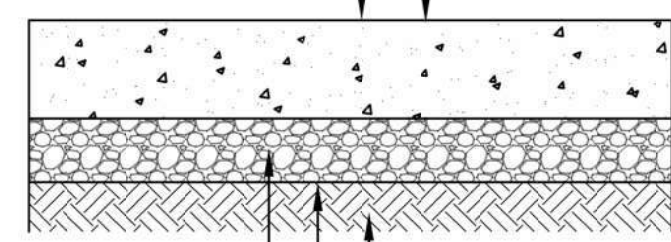


T:\2023\PROJECTS\0023227-3 WEST DAVENPORT SITE DESIGN - JIM ABBITT\DESIGN\DRAWINGS\PRODUCTION\0023227-3 GRADING AND UTILITIES.DWG

Emma Taylor

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PORTLAND CEMENT CONCRETE PAVEMENT, 7" THICKNESS, PER IOWA DOT STANDARD SPECIFICATIONS IN DIVISION 41, SECTION 4101. C3 MIX, CLASS 3 DURABILITY AGG. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI @ 28 DAYS

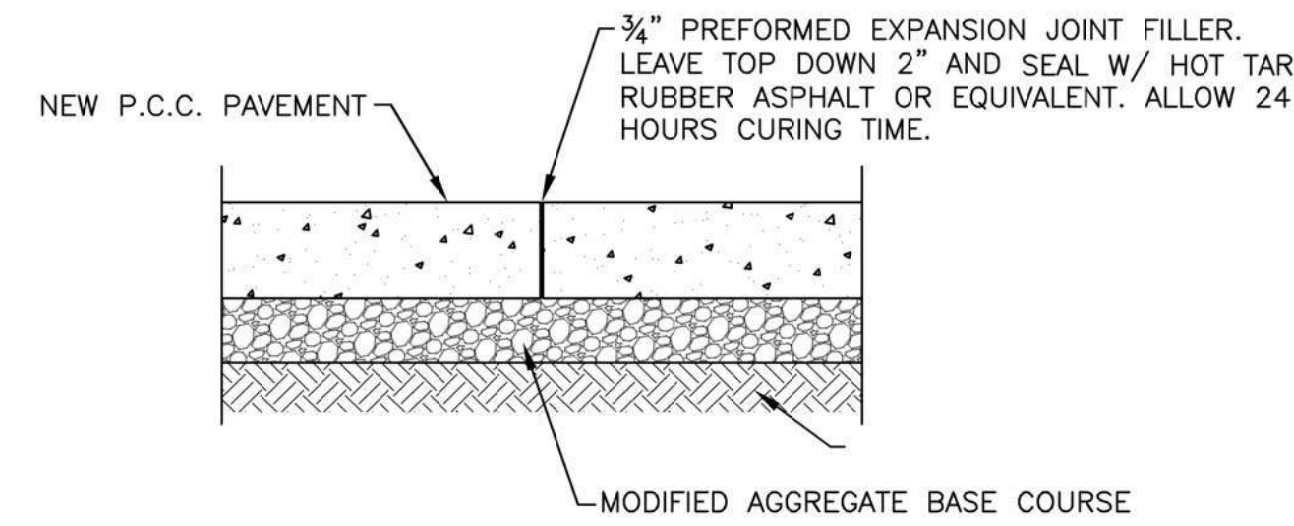


MODIFIED AGGREGATE BASE COURSE, 6" COMPACTED THICKNESS TO 98% DENSITY PER IOWA DOT STANDARD SPECIFICATIONS IN DIVISION 41, SECTION 4121 OR EQUAL. COMPACT 12" SUBGRADE TO 98% OF STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698)

IN AREAS OF PAVEMENT SUBGRADES THAT DO NOT RESPOND TO PROOF ROLLING, USE GEOTEXTILE FABRIC; MIRAFI 160N OR EQUIVALENT UNDER SUBBASE.

CONCRETE PAVEMENT DETAIL

SCALE: NONE

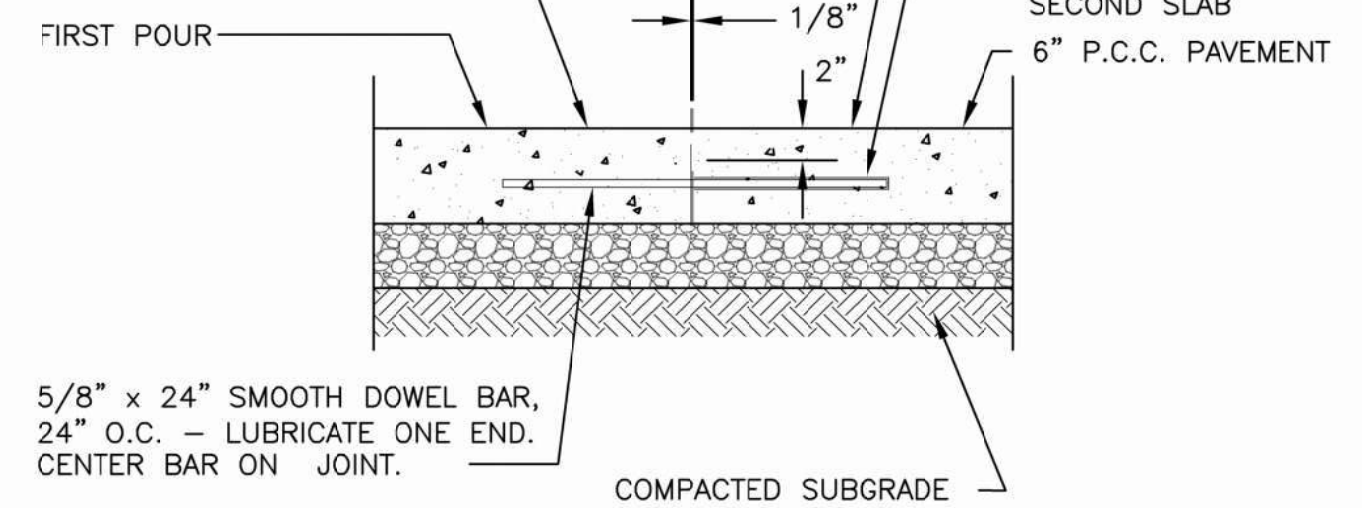


EXPANSION JOINT DETAIL

SCALE: NONE

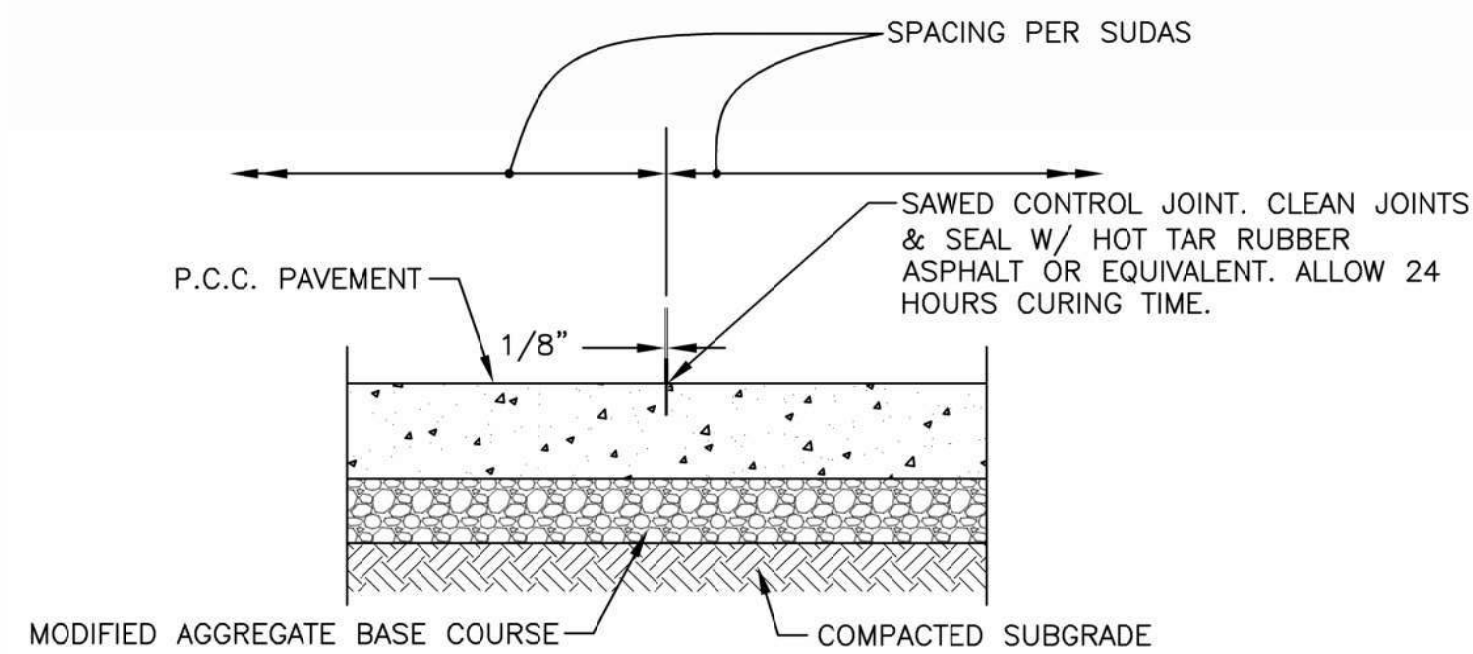
NOTE: ALL JOINTING TO BE ACCORDING TO SUDAS SPECIFICATIONS AND CLIENT'S REQUIREMENTS.

PROVIDE SEALANT POCKET AS SHOWN. CLEAN POCKET & SEAL W/ HOT TAR RUBBER ASPHALT OR EQUIVALENT. ALLOW 24 HOURS CURING TIME.



CONTROL JOINT DETAIL

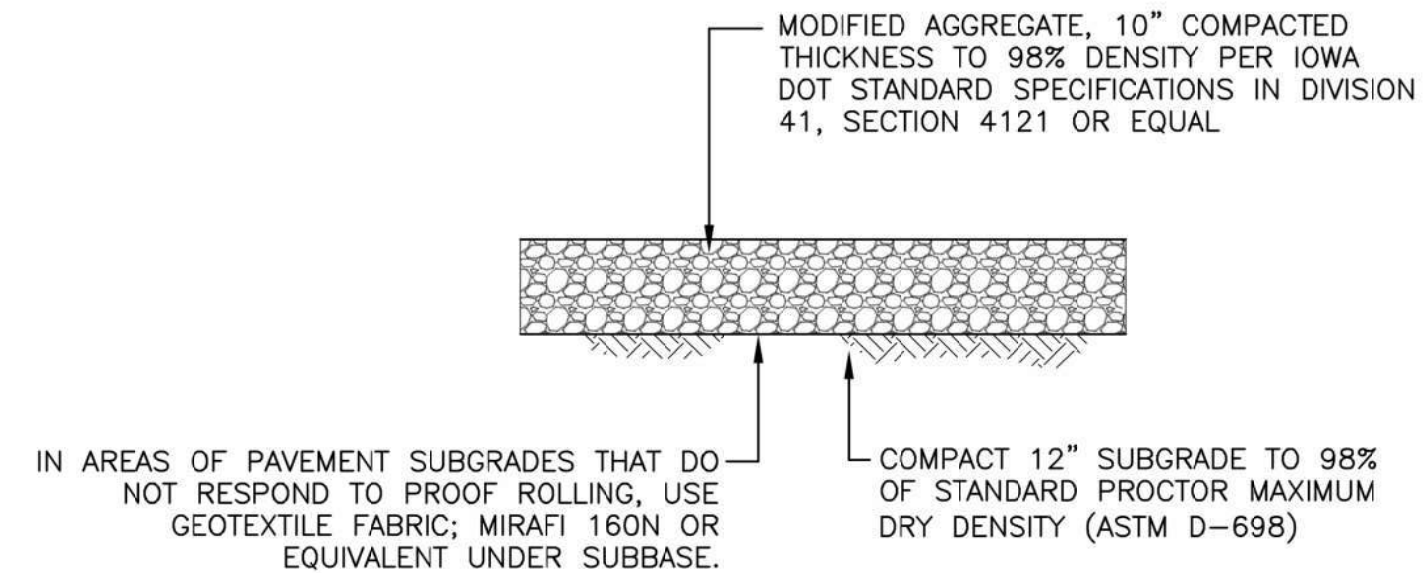
SCALE: NONE



CONSTRUCTION JOINT DETAIL

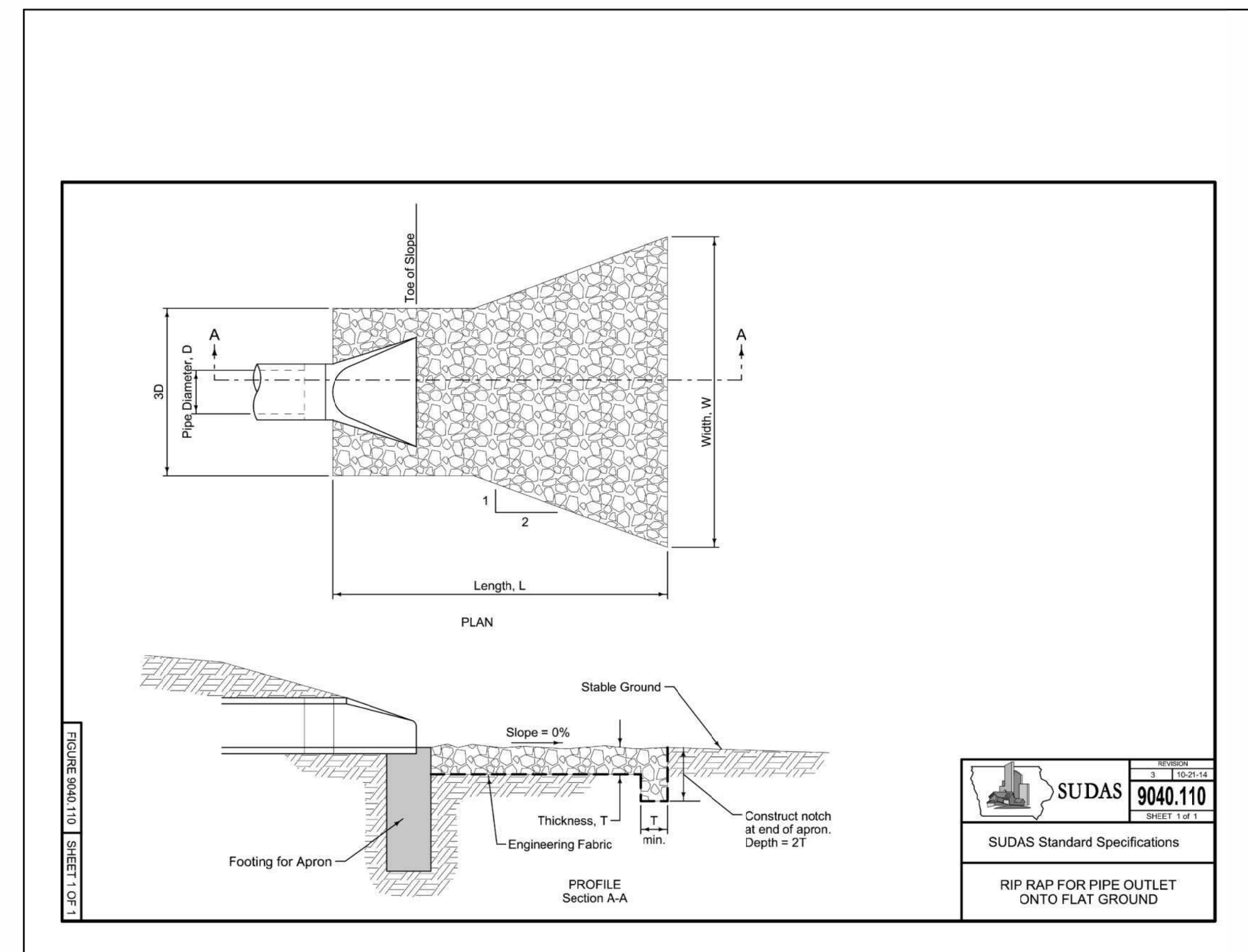
SCALE: NONE

NOTE: ALL JOINTING TO BE ACCORDING TO SUDAS SPECIFICATIONS AND CLIENT'S REQUIREMENTS.



AGGREGATE PAVEMENT

SCALE: NONE



Bruner, Cooper & Zuck, Inc.
Engineers Architects Land Surveyors

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309.343.9282
 - 308 North 3rd Street
Burlington, Iowa 52601
319.752.9282
 - 835 Golden Valley Drive
Bettendorf, Iowa 52722
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DETAILS

C7

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Emma Taylor
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