PLANNING & DEVELOPMENT

600 West Fourth Street Davenport, Iowa 52801-1106

Email: planning@scottcountyiowa.gov

Office: (563) 326-8643



SCOTT COUNTY ZONING BOARD OF ADJUSTMENT AGENDA Wednesday, April 24, 2024

Wednesday, April 24, 2024 4:00 P.M.

- 1. Call to Order
- 2. Attendance
- 3. Approval of Minutes: Approval of the January 24, 2024 meeting minutes.
- **4.** Public Hearing Special Use Permit: Request from Emma Taylor (deed holder Chris Dowell) to allow the use of gravel for a proposed parking lot/circulation area in lieu of the flexible or rigid pavement prescribed in the Zoning Ordinance at the property legally described as Part of the NW ¼ of the NW ¼ of Section 1 of Buffalo Township (Parcel #720101001).
- 5. Old Business
- 6. Zoning Administrator's Report
- 7. Public Comment
- 8. Adjournment

Public Hearing Procedure:

- a. Chairman reads notice of public hearing.
- b. Director reviews case.
- c. Applicant/Representative speaks on behalf of request.
- d. Public may ask questions or make comments.
- e. Director makes staff recommendation.
- f. Applicant may respond to comments and/or recommendation.
- g. Board members may ask questions.
- h. Chairman closes the public portion of the hearing. (No more comments from public or applicant.)
- i. Discussion period to determine justification for decision.
- j. Board members move to approve, deny, and/or modify request.
- k. Final vote. Case closed. Three members of the Board constitute a quorum. The concurring vote of three members of the Board shall be necessary to reverse any decision or determination of the zoning administrator or to decide in favor of an application for a variance or conditions for a special use permit. The Board of Adjustment is "quasi-judicial" and not a recommending body. Therefore, any appeals to their decisions should be filed with District Court within 30 days of the meeting.

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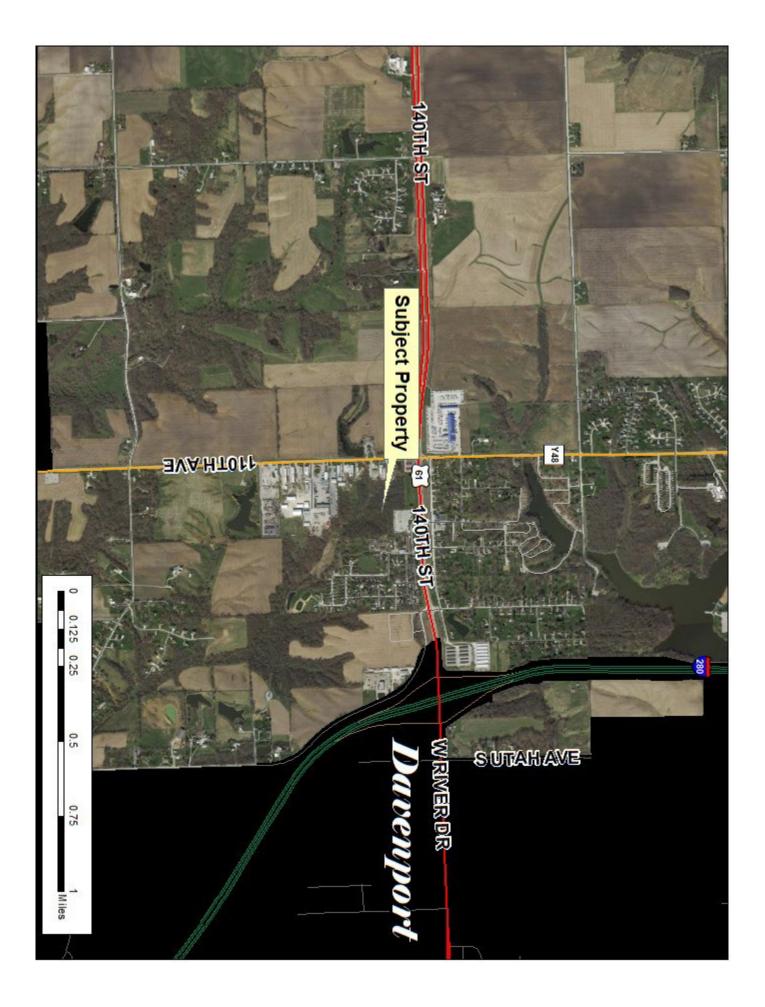


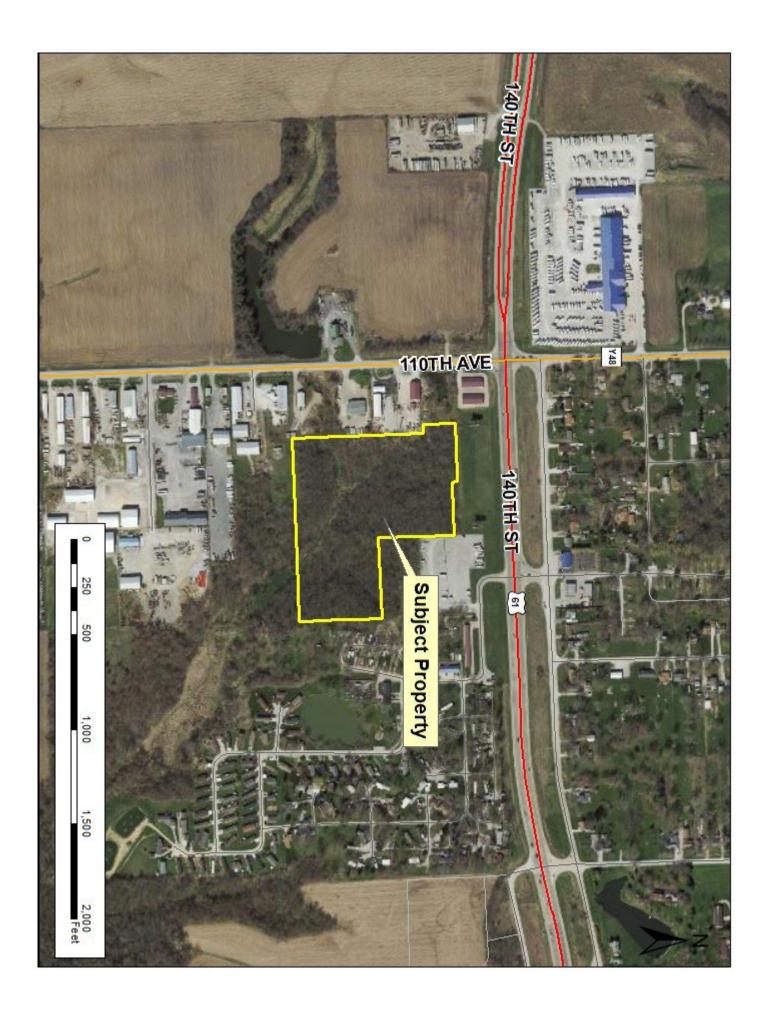
SCOTT COUNTY ZONING BOARD OF ADJUSTMENT NOTICE OF PUBLIC HEARING

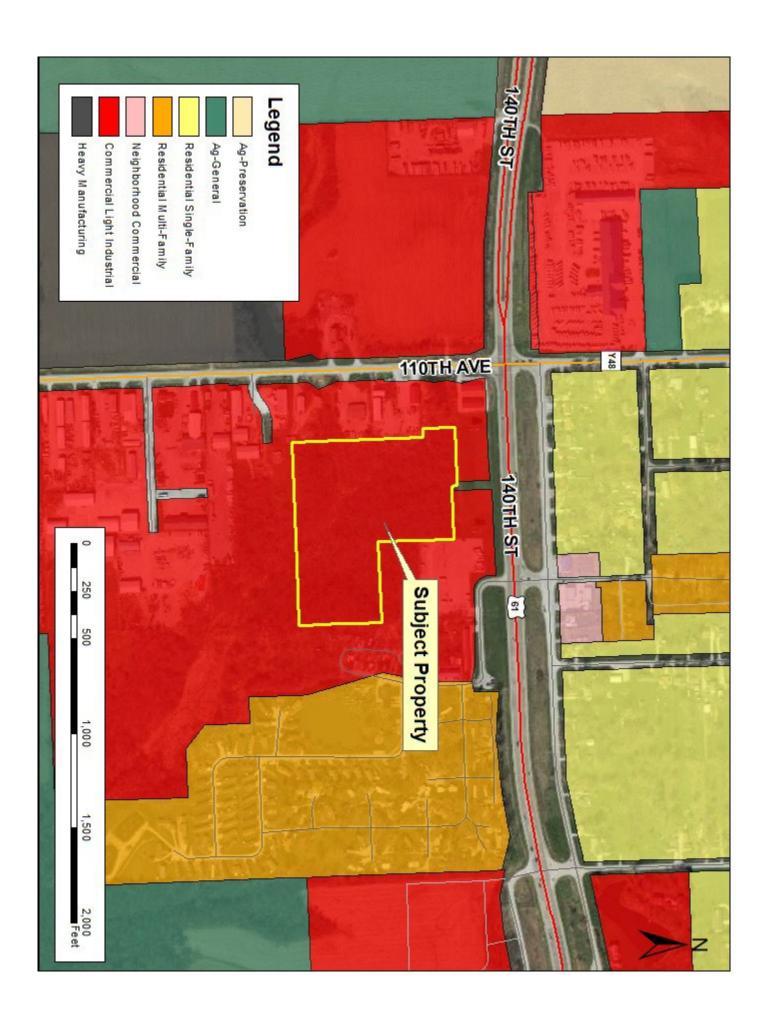
Notice is hereby given that the Scott County Planning and Development Department has on file the following application as allowed by the Scott County Zoning Ordinance. In accordance with Section 6-32, this Notice is being sent to all property owners of record within 500 feet of the area in question and to appropriate County officials to notify all of a public hearing to be held in the Meeting Room A/B of the Scott County Library – Eldridge Branch, 200 North 6th Street, Eldridge, lowa 52748 on Wednesday, April 24, 2024 at 4:00 P.M.

The Zoning Board of Adjustment will hear the request from **Emma Taylor (deed holder Chris Dowell)** for a Special Use Permit to allow gravel to cover the proposed parking lot/circulation area in lieu of the flexible or rigid pavement prescribed in the Zoning Ordinance at the property legally described as Part of the NW ¼ of the NW ¼ of Section 1 of Buffalo Township (Parcel #720101001). The affiliated development, a contractor office, was approved for construction by the Planning and Zoning Commission at a public meeting on April 2, 2024.

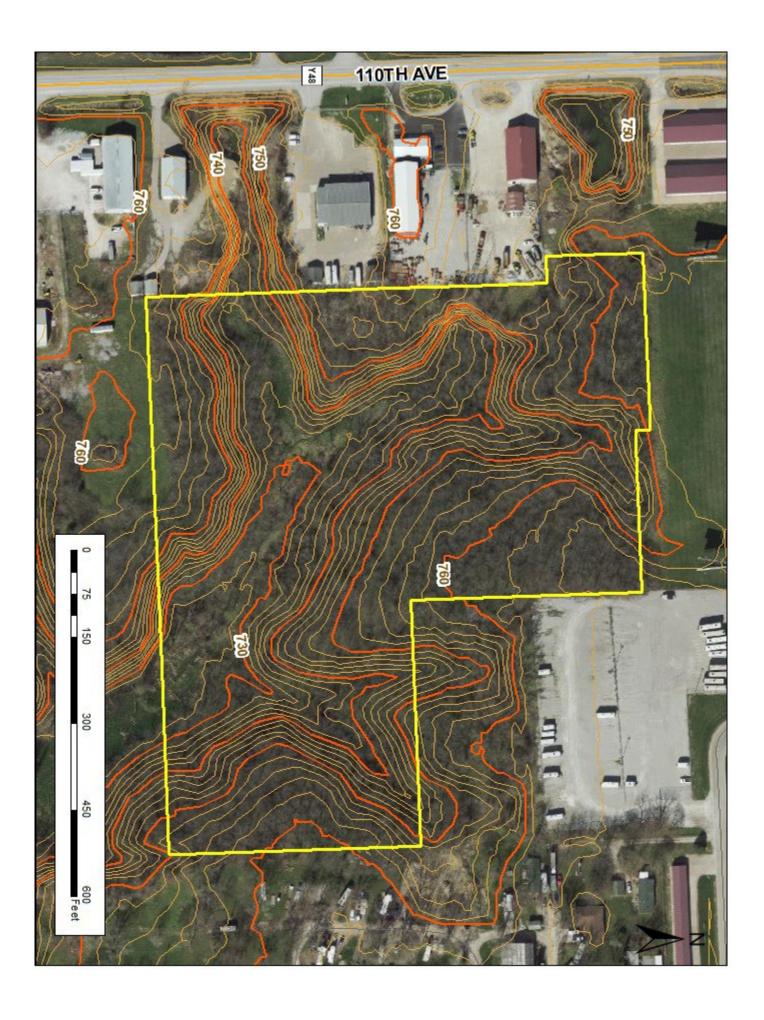
If you have questions or comments regarding this meeting or the requested variance please call, write or email the Planning and Development Department, 600 West Fourth Street, Davenport, Iowa 52801, (563) 326-8643, planning@scottcountyiowa.gov or attend the meeting.











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Date: 3 / 28 / 20 24

Appeal to the Scott County Zoning Board of Adjustment

Name: Chris Dowell Address: 602 2nd Street West Andalusia, IL 61232
Andalusia, IL 61232
Phone: (309) 738-2611
th Ave & RTE 61 Intersection
of the northwest quarter
Zoning Classification: C2
ct or map boundaries permit the rules of the Zoning Ordinance arking lot
rill proceed with the actual construction in accordance to the application and issuance of a building permit from period as prescribed by Section 6-27.F.(8) of the Zoring Holder's Signature.



PLANNING & ZONING COMMISSION STAFF REPORT

April 2, 2024



Applicant: Chris Dowell (DBA Taylor Ridge Paving)

Request: Site Plan approval for a new construction contractor office

Legal Description: Part of the NW ¼ of the NW ¼ of Section 1 of Buffalo Township

Scott County Parcel Number 720101001

General Location: South of 140th Street (Highway 61) on the unincorporated west side of

Davenport, less than a mile from Interstate 280

Existing Zoning: Commercial-Light Industrial (C-2)

Surrounding Zoning:

North: Commercial-Light Industrial (C-2)
South: Commercial-Light Industrial (C-2)
East: Commercial-Light Industrial (C-2)
West: Commercial-Light Industrial (C-2)

GENERAL COMMENTS & STAFF REVIEW: In accordance with Section 6-31 of the Scott County Zoning Ordinance, approval of a site plan is required by the Planning and Zoning Commission for new developments, substantial improvements to existing developments, as well as change in use or re-occupancy of existing developments. A site plan review affords the Commission the chance to ensure that minimum County development standards are met.

The applicant is proposing a **new development** for the above-referenced property.

Land Use

Despite its C-2 zoning designation, the 16.8-acre subject property has long-remained undeveloped. The applicant intends to establish a new contractor office, which would include an office space, small shop for vehicles and other assets affiliated with the business, and storage space, which is a principal permitted use in the C-2 district. A contractor office would be an appropriate highway commercial use along Highway 61, and would be compatible the nearby land uses, which include other contractor offices, indoor/outdoor storage facilities, light industry, and a large RV dealership.

Staff requested and the applicant has provided preliminary building plans showing interior layout and elevation renderings, which are enclosed in this report.



PLANNING & ZONING COMMISSION STAFF REPORT

April 2, 2024



Access and Roadways

The subject property does not have frontage along any public roadway easements. An easement on the north-adjacent parcel (Scott County Parcel Number 7201011152, deed-holder VTJ Properties LLC) connecting the subject property to 110th Avenue is the only means of ingress and egress. Staff will recommend as a condition of approval that the applicant and VTJ Properties LLC come to an agreement on the use, design, installation, and maintenance of any access drive within that easement.

The County Engineer has requested and staff will recommend that the entrance construction plan sheet submitted as part of VTJ Properties LLC's Site Plan approval (meeting date September 19, 2023) be identical to the entrance construction plan sheet for this Site Plan and vice-versa.

Off-Street Parking

The applicant has confirmed that the proposed contractor office would not generate customer traffic or be open to the general public. Therefore, staff believes there is adequate parking and circulation area for employees to meet the off-street parking requirements in Section 6-29.

However, the County off-street parking regulations require that all parking and circulation areas be hard surfaced, and the applicant is proposing using gravel. The request to vary from hard surfaced paving requirements is actually done by Special Use Permit in the Code. Therefore, the applicant will need to obtain a Special Use Permit from the Zoning Board of Adjustment in order to use gravel as opposed to a hard surface.

Screening, Landscaping, and Lighting

Section 6-31 reads, "...The developer shall provide for fences, landscaping, and other improvements as are deemed proper and necessary to buffer the proposed use from existing or surrounding land uses."

The applicant intends to install a six-foot (6') black chain link fence along the north, east, and west perimeter, including an automatic slide gate at the north ingress/egress point. The fence itself is more a security feature than an effective screen. However, given the subject property is not easily visible from any public streets, is within a commercial-light industrial district, and is within a wooded ravine, staff would not recommend requiring additional screening.

The applicant did not submit a landscaping plan, but since the subject property is not easily visible from any public streets and is within a wooded ravine, staff will not recommend requiring additional landscaping as a condition of approval.

Scott County

PLANNING & ZONING COMMISSION STAFF REPORT



April 2, 2024

The applicant does not intend to install new outdoor lighting, so the project is not subject to the lighting standards of Section 6-31. Staff will recommend that, should the applicant install new outdoor lighting at some point in the future, a lighting plan must be submitted to and approved by the Zoning Administrator prior to installation. The maximum allowable foot-candle at any lot line is 1 foot-candle.

Storm Water Management

Regulations require all internal impervious surfaces to be adequately drained and controlled on-site with detention facilities sufficient to capture the post-development runoff of a 24-hour, one hundred (100) year storm. Additionally, the release rate of storm water out of the detention facility shall be restricted so as not to exceed the volume produced by a five (5) year storm when measured at the pre-developed flow rates.

The County Engineer has received, reviewed, and approved the required storm water calculations for the proposed on-site detention facility, and has requested and staff will recommend that the applicant submit copies of any inspection reports produced as part of any National Pollutant Discharge Elimination System (NPDES) permitting process to the County Engineer.

Other Entities Notified and Public Comment

The **County Engineer's** comments were included in the appropriate sections in this report.

Jack Hoskins, Environmental Health Specialist with the Scott County **Health Department** noted the applicant should avoid or minimize any dirt work until they have chosen an area for the septic system.

Since no building permit applications have been submitted at this point, the Scott County **Building Inspector** did not provide comment.

Since Site Plan Review items are not public hearings, there are no publishing requirements so no legal notice was published. Property owners within 500' of the subject property were sent a meeting notice and agenda for the meeting. Staff has not, as of yet, received any questions or comments.

RECOMMENDATION: Staff recommends that the Site Plan be approved for the proposed contractor office with the following conditions:

1. The entrance construction plan sheet submitted as part of VTJ Properties LLC's Site Plan approval (meeting date September 19, 2023) be identical to the entrance construction plan sheet for this Site Plan and vice-versa;

Scott County

PLANNING & ZONING COMMISSION STAFF REPORT

April 2, 2024



- 2. If the applicant installs outdoor lighting after approval of this Site Plan, a lighting plan compliant with adopted lighting standards be submitted to and approved by the Zoning Administrator;
- 3. The applicant and adjacent property owner (VTJ Properties LLC) come to an agreement on the use, design, installation, and maintenance of any access drive within the platted access easement on VTJ Properties LLC's parcel;
- 4. The applicant submit copies of any inspection reports produced as part of any NPDES permitting process to the County Engineer; and
- 5. The Commission accept the pending decision of the Zoning Board of Adjustment on the Special Use Permit request regarding paving requirements. Tentative hearing date: April 24, 2024.

Submitted by: Alan Silas, Planning & Development Specialist March 29, 2024

DRAWING KEY NOTES 185'-0" TEAN-TO 8'-0" (TYP.) **PAVING** 8'-0" (TYP.) _____ 30'-0" **GENERAL NOTES:** PRELIMINARY
FIRST FLOOR PLAN CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS & NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK. 1/8" = 1'-0"

Bruner,
Cooper &
Zuck, Inc.

Engineers Architects Land Surveyors

188 East Simmons Street Galesburg, Illinois 61401 309.343.9282

308 North 3rd Street Burlington, Iowa 52601 319.752.9282

835 Golden Valley Drive
Bettendorf, Iowa 52722
563.355.1856

IL PROFESSIONAL DESIGN FIRM: LS / ARC / PE / SE 184002633-0015



WWW.BCZENGINEERING.COM

DAVENPORT, IOWA 52804 SCOTT COUNTY ISSUE RECORD 1 02/12/2024

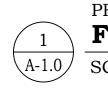
PRELIMINARY REVISION

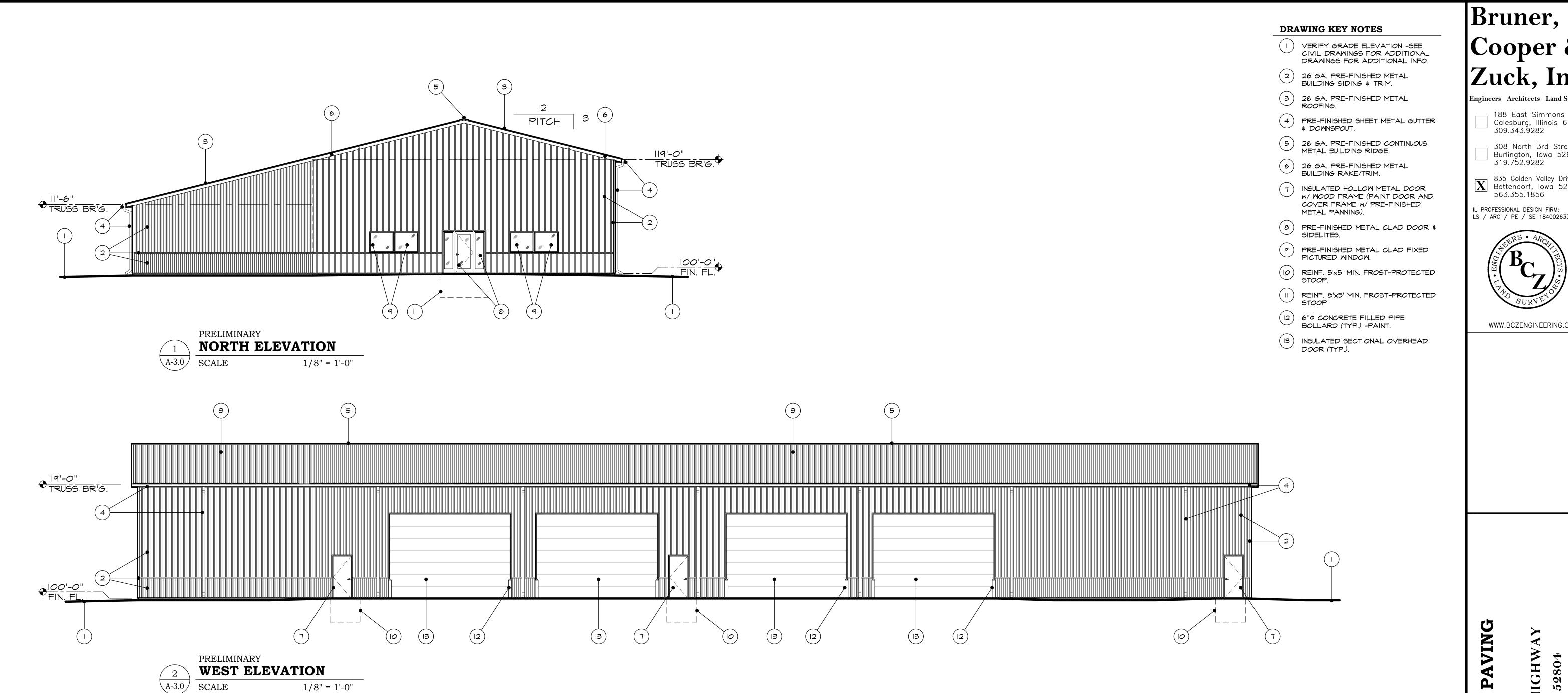
BID DOCUMENTS FOR CONSTRUCTION RECORD DOCUMENTS

PROGRESS PRINT NOT FOR CONSTRUCTION

> **PROPOSED** FLOOR PLAN

2024051-3 12 FEB 2024





Cooper &

Engineers Architects Land Surveyors

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I. CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS & NOTIFY
ARCHITECT OF ANY DISCREPANCIES
PRIOR TO COMMENCING WITH WORK.

GENERAL NOTES:

PROPOSED EXT. ELEVATIONS

2024051-3 12 FEB 2024

DAV SCO

ISSUE RECORD

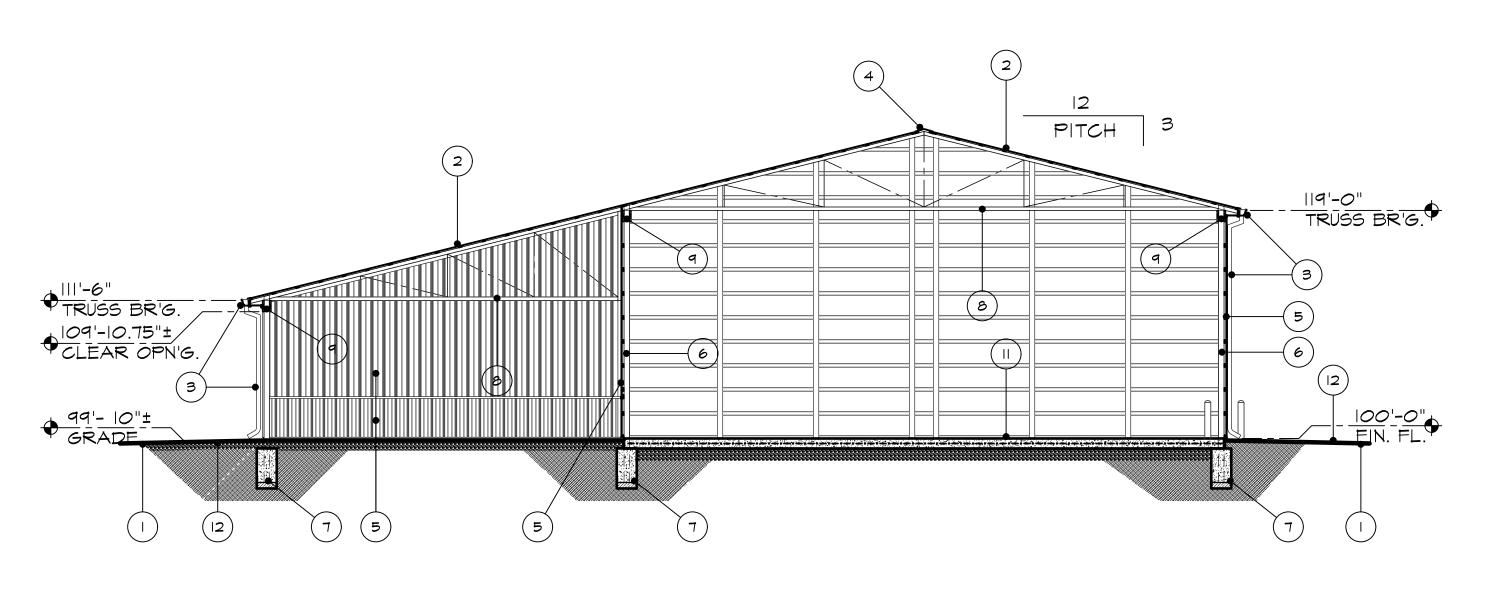
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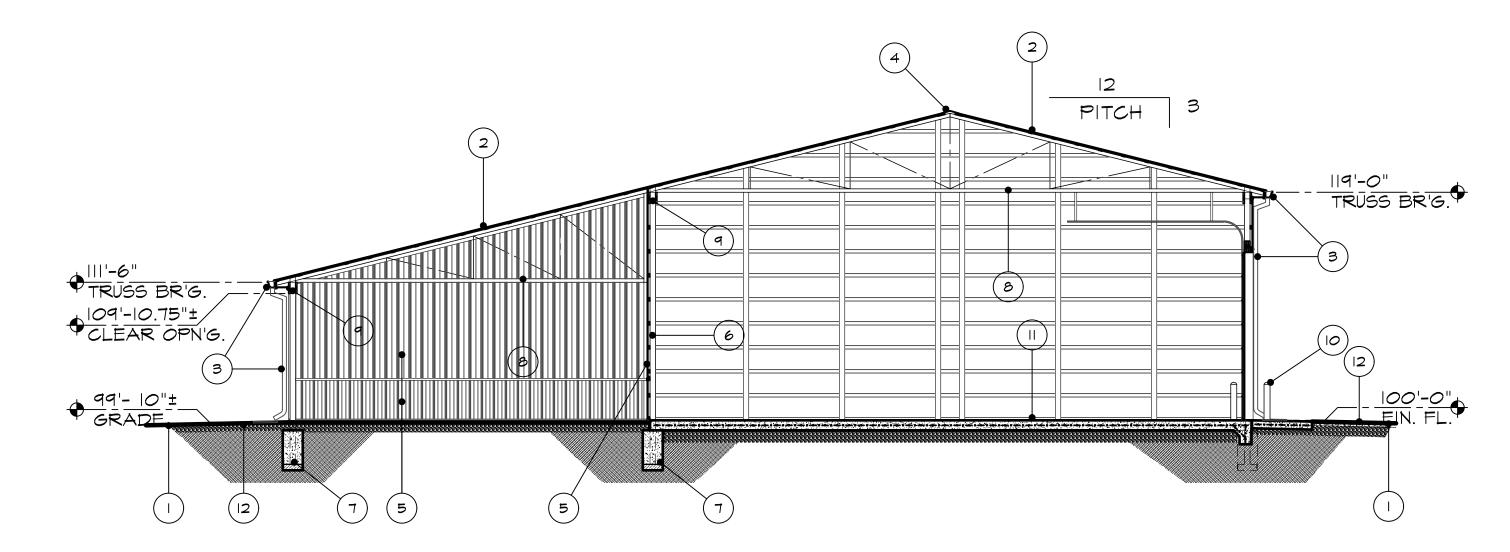
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BID DOCUMENTS FOR CONSTRUCTION RECORD DOCUMENTS

1 02/12/2024



PRELIMINARY **BUILDING SECTION 'A-A'** A-4.0 SCALE 1/8" = 1'-0"



PRELIMINARY **BUILDING SECTION 'B-B'** A-4.0 SCALE 1/8" = 1'-0"

DRAWING KEY NOTES

- VERIFY GRADE ELEVATION -SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- 2 26 GA. PRE-FINISHED METAL ROOFING OVER 2"x4" PURLINS @ 24" O.C OVER PRE-ENGINEERED WOOD TRUSS.
- 3 PRE-FINISHED SHEET METAL GUTTER \$ DOWNSPOUT.
- 4 26 GA. PRE-FINISHED CONTINUOUS METAL RIDGE.
- 5 26 GA. PRE-FINISHED METAL BUILDING SIDING OVER 2"x4" GIRTS OF POST FRAME BUILDING WALL.
- (6) POST FRAME BUILDING WALL -6"x6" TREATED WOOD COLUMNS w/ 2"x4" EXTERIOR GIRTS @ 24" O.C. EXTERIOR BOTTOM SKIRT BOARD TO BE TREATED T&G (ALL GIRTS TO BE SOUTHERN YELLOW PINE NO. I OR BETTER). TYVEK (NOT SHOWN) TO BE INSTALLED BETWEEN GIRTS & METAL SIDING.
- (7) CONCRETE FOUNDATION SURROUND @ EACH 6"x6" TREATED WOOD COLUMN W/ CONCRETE COOKIE AT BOTTOM OF FOUNDATION HOLE. -SEE STRUCTURAL DWG'S FOR SIZING.
- 8 PRE-ENGINEERED WOOD TRUSS AT 4'-O" O.C. W/ 2"x ANCHOR BOARD AT EXTERIOR WALL.
- 9 2"x12" HEADER EACH SIDE OF 6"x6" TREATED WOOD COLUMNS.
- 6"Φ CONCRETE FILLED PIPE BOLLARD (TYP.) -PAINT.
- (II) IO" REINFORCED CONCRETE FLOOR SLAB OVER VAPOR BARRIER OVER COMPACT GRANULAR FILL. -SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- (12) DRIVEWAY SURFACE -SEE CIVIL DRAWINGS FOR MATERIAL AND ADDITIONAL INFORMATION.

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I. CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS & NOTIFY
ARCHITECT OF ANY DISCREPANCIES
PRIOR TO COMMENCING WITH WORK.

GENERAL NOTES:

PROPOSED BUILDING SECTIONS

PROGRESS PRINT

NOT FOR CONSTRUCTION

PRELIMINARY REVISION BID DOCUMENTS FOR CONSTRUCTION RECORD DOCUMENTS

ISSUE RECORD

1 02/12/2024

DAV SCO

2024051-3 12 FEB 2024



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INDEX OF SHEETS

COVER SHEET

GENERAL NOTES AND LEGEND

EXISTING CONDITIONS AND REMOVAL PLAN

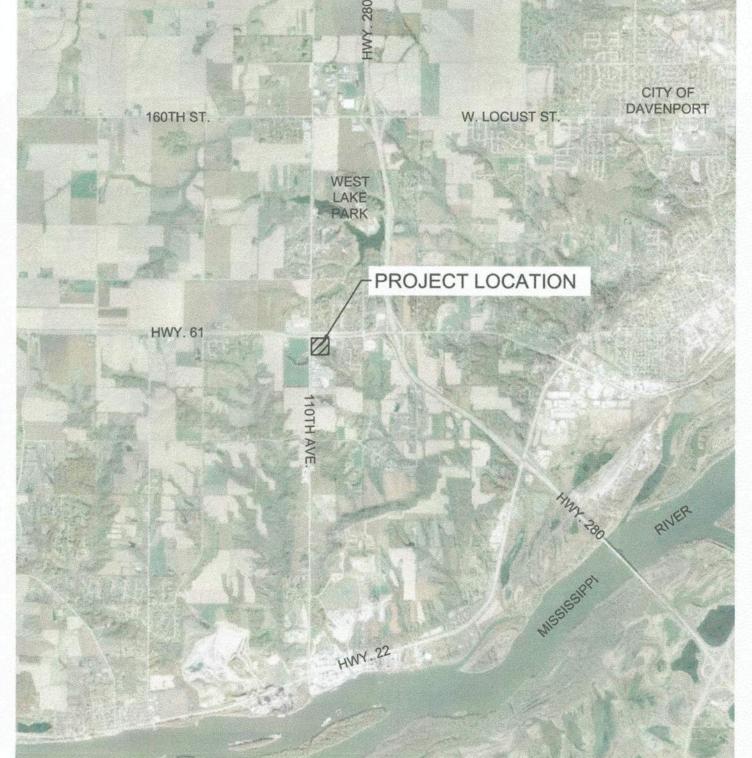
EROSION AND SEDIMENT CONTROL PLAN

SITE PLAN

GRADING AND UTILITY PLAN

DETAILS

SUDAS DETAILS



SITE CONSTRUCTION PLANS

WEST DAVENPORT SITE DESIGN

HIGHWAY 61 AND 110TH AVENUE

DAVENPORT, IOWA

LOCATION MAP DAVENPORT, IOWA



SIGNED THIS 12 DAY OF Feb , 2024

KEVAN J. COOPER, IOWA LICENSED PROFESSIONAL ENGINEER NO. 15471 LICENSE RENEWAL DATE: 12/31/2025

SHEETS COVERED BY THIS SEAL CI-C8

ISSUE RECORD

REVISION BID DOCUMENTS FOR CONSTRUCTION RECORD DOCUMENTS

COVER

2023227-3 02-12-2024

LOCATE (IOWA ONE CALL) TELEPHONE NUMBER IS 1-800-292-8989.

COMPANIES SHOULD BE CONTACTED FOR EXACT LOCATIONS. THE 811 UTILITY

EASTERN IOWA LIGHT AND POWER RICH VANERSVELDE

LUMENS ENGINEERING GROUP MINDI BURGETT MINDI.BURGETT@LUMEN.COM

COMMUNICATIONS:

C. WATER:

MEDIACOM MITCH HANDCOCK 319.797.2414

AUREON JEFF KLOCKO 515.830.0445

IOWA AMERICAN WATER

JULIE ALLENDER

563.468.9222 THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL STATE

- AND LOCAL ORDINANCES AND SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO INITIATING CONSTRUCTION.
- FOOT OVER THE TOP OF THE EXISTING UTILITY. COORDINATE IN ADVANCE WITH THE APPROPRIATE UTILITY COMPANY REGARDING OTHER REQUIREMENTS. 5. ANY PROPERTY DAMAGE OUTSIDE OF EASEMENTS AND RIGHT-OF-WAY LINES

4. AT ALL UTILITY CROSSINGS PROVIDE SELECT COMPACTED BACKFILL TO ONE

- SHALL BE REPLACED TO ORIGINAL OR BETTER CONDITION BY THE CONTRACTOR AT HIS/HER OWN EXPENSE.
- 6. THIS CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
- A. "IOWA SUDAS (STATEWIDE URBAN DESIGN AND SPECIFICATIONs)" LATEST EDITION.
- B. SCOTT COUNTY CODE OF ORDINANCES, LATEST EDITION.
- 7. CONTACT IOWA ONE CALL BY DIALING 811 OR 1-800-292-8989 AT LEAST 48 HOURS BUT NO MORE THAN 14 CALENDAR DAYS BEFORE DIGGING.
- 8. THE CONTRACTOR SHALL NOTIFY THE PROPER AUTHORITIES A MINIMUM OF 48 HOURS PRIOR TO CONNECTING TO AN EXISTING STORM SEWER, SANITARY SEWER, WATER MAIN, FIBER, GAS OR ELECTRIC.
- 9. THE CONTRACTOR SHALL NOTIFY THE PROPER AUTHORITIES A MINIMUM OF 48 HOURS PRIOR TO ANY TREE REMOVALS.

MISCELLANEOUS NOTES

OTHERS)

- SEE ARCHITECTURAL DRAWINGS FOR ALL NEW BUILDING PLANS, DIMENSIONS AND DETAILS.
- PROPOSED ELECTRICAL SERVICE SHALL BE PER ELECTRICAL DRAWINGS. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY.

PROPOSED GAS SERVICE SHALL BE PER PLUMBING DRAWINGS. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY. PROPOSED TELEPHONE SERVICE SHALL BE PER MECHANICAL DRAWINGS.

- CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY. SEE LANDSCAPE PLANS FOR FINISH SITE LANDSCAPING PLANTINGS. (BY
- PROPOSED UTILITY & PIPE LOCATIONS & ELEVATIONS SHOWN ENTERING THE BUILDING ON THESE SHEETS ARE ONLY APPROXIMATE. CONTRACTOR SHALL VERIFY ALL SUCH LOCATIONS AND ELEVATIONS WITH MECHANICAL ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. IN CASE OF DISCREPANCY, MECHANICAL / ARCHITECTURAL PLANS SHALL GOVERN. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANIES PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION..

GRADING & REMOVAL NOTES

- 1. GRADE ALL DISTURBED EARTH AREAS AS SHOWN BY PROPOSED CONTOURS AND SPOT ELEVATIONS. SEED AND FERTILIZE IN ACCORDANCE WITH ARTICLE 2601.03.C.4 AND SECTION 4169 IA.D.O.T. STANDARD SPECIFICATIONS. USE MULCH MEETING THE REQUIREMENTS OF ARTICLES 2601.03.E.2.a AND 4169.07,A STANDARD SPECIFICATIONS. CONTRACTOR SHALL SEED ALL AREAS DISTURBED BY CONSTRUCTION AND SHALL PROVIDE AND INSTALL STRAW MULCH "PUNCHED" INTO THE SOIL FOR EROSION CONTROL ON ALL SEEDED AREAS. PROVIDE POSITIVE DRAINAGE.
- 2. PROPOSED SURFACE GRADE ADJACENT TO ALL EXTERIOR BUILDING WALLS SHALL BE 6" BELOW FINISHED FLOOR ELEVATIONS UNLESS SPECIFIED BY PROPOSED CONTOURS OR SPOT ELEVATIONS.
- 3. EXCESS DIRT FROM CONSTRUCTION SHALL BE STOCKPILED ON SITE BY THE CONTRACTOR AS DIRECTED BY THE ENGINEER. EXCESS DIRT SHALL NOT LEAVE THE SITE WITHOUT ENGINEER'S APPROVAL.
- 4. ALL FENCES, DRAIN TILES, WATER MAINS, DRAINAGE DITCHES OR OTHER STRUCTURES WHICH MAY BE SEVERED OR DAMAGED. REMOVED. OR INTERFERED WITH DURING CONSTRUCTION MUST BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN DRAINAGE IN THE AREA DURING CONSTRUCTION. ALL DRAINAGE DITCHES SHALL BE OPEN AT THE END OF EACH DAYS WORK.
- 6. ALL FILL AREAS SHALL BE STRIPPED OF ALL TOPSOIL PRIOR TO PLACING EMBANKMENT MATERIAL. LAWN AREAS THAT HAVE RECEIVED EMBANKMENT MATERIAL SHALL RECEIVE AT LEAST 6" OF TOPSOIL AS THE FINAL COURSE OF FILL IN PREPARATION FOR SEEDING OPERATIONS. ALL LAWN AREAS DISTURBED DURING CONSTRUCTION SHALL BE REPAIRED AND RESTORED TO THE SATISFACTION OF THE OWNER.
- 7. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL TRASH AND CONSTRUCTION DEBRIS WILL BE HAULED TO THE LOCAL MUNICIPAL DUMP AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL SOLID WASTE MANAGEMENT REGULATIONS.
- 8. THE CONTRACTOR SHALL PROVIDE SOLID WASTE COLLECTION DURING CONSTRUCTION TO MINIMIZE POLLUTION.
- 9. ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING THESE PROCEDURES DURING CONSTRUCTION.
- 10. SUDAS DIVISION 2: EARTHWORK SECTION S010: EARTHWORK, SUBGRADE AND SUBBASE
- 11. SUDAS DIVISION 9: SITE WORK AND LANDSCAPING SECTION 9010: SEEDING SECTION 9040: EROSION AND SEDIMENT CONTROL

PAVEMENT & SIDEWALK NOTES

- 1. LONGITUDINAL SLOPE ON ALL SITE SIDEWALKS SHALL NOT EXCEED 4.50% EXCEPT AT DESIGNATED SIDEWALK RAMP LOCATIONS WHERE SLOPE SHALL NOT EXCEED 8.0%, CROSS SLOPE ON ALL SITE SIDEWALKS SHALL NOT EXCEED 1.75%, 1.50% PREFERRED.
- 2. ALL PROPOSED SITE PLAN DIMENSIONS ARE TO FACE OF CURBS (FOC) OR AS NOTED ON PLANS.
- SUDAS DIVISION 7: STREETS AND RELATED WORK SECTION 7010: PORTLAND CEMENT CONCRETE PAVEMENT SECTION 7030: SIDEWALKS, SHARED USE PATHS AND DRIVEWAYS

STORM SEWER NOTES

- 1. PROPOSED STORM SEWER LENGTHS INDICATED ON PLANS ARE MEASURED FROM CENTER TO CENTER OF STRUCTURES.
- 2. UNLESS NOTED OTHERWISE, ALL STORM SEWER SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
- 3. INLETS AND MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD DETAILS INCLUDED WITH THESE PLANS.
- 4. SUDAS DIVISION 4: SEWER AND DRAINS SECTION 4020: STORM SEWER SECTION 4060: CLEANING, INSPECTION AND TESTING OF SEWERS
- 5. SUDAS DIVISION 6: STRUCTURES FOR SANITARY AND STORM SEWERS SECTION 6010: STRUCTURES FOR SANITARY AND STORM SEWER SECTION 6020: REHABILITATION OF EXISTING MANHOLES SECTION 6030: CLEANING, INSPECTION AND TESTING OF STRUCTURES

MISCELLANEOUS REFERENCES:

SUDAS DIVISION 11: MISCELLANEOUS SECTION 11.020: MOBILIZATION SECTION 11.040: TEMPORARY SERVICES SECTION 11.060: CONCRETE WASHOUT

WATERMAIN & SERVICE NOTES

- SEPARATION OF WATER MAINS FROM SANITARY SEWERS AND STORM SEWERS SHALL BE IN ACCORDANCE WITH THE IOWA WASTEWATER FACILITIES DESIGN STANDARDS, CHAPTER 12, SECTION 5.8, PROTECTION OF WATER SUPPLIES." WHERE THE WATER MAIN EITHER CROSSES UNDER OR IS LESS THAN 18 INCHES ABOVE THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE LOCATED SO THAT BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE SEWER. THE SEWER AND WATER PIPES MUST BE ADEQUATELY SUPPORTED. A LOW PERMEABILITY SOIL SHALL BE USED FOR BACKFILLING MATERIAL WITHIN TEN FEET OF THE POINT OF CROSSING. NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SEWER MANHOLE. SEWER PIPE AT THIS LOCATION SHALL BE CONSTRUCTED OF WATER MAIN QUALITY MATERIAL.
- MINIMUM BURIAL OF WATER MAIN AND SERVICE PIPING SHALL BE 5' FROM FINISH GRADE TO TOP OF PIPE.
- STOPS AND FITTINGS: ALL CORPORATION STOPS AND CURB STOPS SHALL BE FABRICATED OF BRASS AND SHALL BE PROVIDED WITH OUTLETS SUITABLE FOR COPPER CONNECTIONS. CURB STOPS SHALL BE OF THE ROUND-WAY TYPE. FITTINGS FOR SERVICE PIPE SHALL BE BRASS AND OF THE COMPRESSION TYPE FOR TYPE K TUBING. THE CITY REQUIREMENTS AND SPECIFICATIONS SHALL BE USED. CONTRACTOR TO VERIFY PROPER STOPS AND FITTINGS.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PIPING MEASUREMENTS AND LAYOUT AND SHALL VERIFY COMPATIBILITY OF NEW PIPING WITH EXISTING AT FLANGED, MECHANICAL JOINT, PUSH - ON OR THREADED CONNECTIONS, PROVIDING SUITABLE ADAPTORS AS MAY BE REQUIRED. COST OF ANY AND ALL SUCH ADAPTORS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
- 5. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN ALL WATER MAINS AND SEWERS. IF SEPARATION IS NOT POSSIBLE, THE SEWER SHALL BE CONSTRUCTED OF WATER MAIN QUALITY PIPE.
- WATER MAINS SHALL CROSS ABOVE SEWERS WITH A MINIMUM VERTICAL SEPARATION OF 18 INCHES WHILE STILL MAINTAINING THE REQUIRED DEPTH OF COVER. IF PROPER SEPARATION IS NOT POSSIBLE, OR IF THE WATER MAIN MUST BE ROUTED UNDER THE SEWER, THE SEWER SHALL BE CONSTRUCTED OF WATER MAIN QUALITY PIPE.
- WATER FOR USE IN CONSTRUCTION ACTIVITIES THAT IS OBTAINED FROM CITY FIRE HYDRANTS SHALL BE OBTAINED USING A BACKFLOW PREVENTER THAT IS PROVIDED BY CITY OF MT. PLEASANT.
- 8. ALL UTILITY TRENCHES SHALL BE BACKFILLED WITH CLASS A STONE AND GRANULAR MATERIAL WHERE THE TRENCH IS UNDER OR WITHIN 2 FEET OF EXISTING OR PROPOSED CURB & GUTTER, SIDEWALK OR PAVEMENT.
- CONTRACTOR SHALL COORDINATE WITH CITY OF MT. PLEASANT TO DETERMINE INSTALLATION REQUIREMENTS AND MATERIALS TO BE USED.
- 10. SUDAS DIVISION 5: WATER MAINS AND APPURTENANCES SECTION 5010: PIPE AND FITTINGS SECTION 5020: VALVES, FIRE HYDRANTS AND APPURTENANCES SECTION 5030: TESTING AND DISINFECTION

CONTR	ROL POINTS			
Point#	Northing	Easting	Description	
CP #20	00 561781.773	2410659.002	CP/ SPIKE	
CP #20	01 561591.752	2410954.089	CP/ SPIKE	
CP #20	02 561782.503	2411285.671	CP/ SPIKE	
CP #20	03 561403.875	2411216.026	CP/ SPIKE	
CP #20	04 561797.576	2410606.986	CP/ MAG	

Point#	DESCRIPTION
BM # 1	SPIKE ELEVATION= 759.28
BM # 2	SPIKE ELEVATION= 755.45
BM # 3	SPIKE ELEVATION= 764.65
BM # 4	SPIKE ELEVATION= 756.21
BM # 5	MAG ELEVATION= 757.44

M # 4	SPIKE ELEVATIO	DN= 756.21			
M # 5	MAG ELEVATIO	DN= 757.44			
					 -
		ā	LEGEND		
STING		PROPOSED	EXISTING	<u>P</u>	ROPOSE
AC	AIR CONDITIONING SIGN	AC	E ** Ø	ELECTRIC MANHOLE LIGHT ON POLE	©
	MAILBOX	M	(E)	ELECTRIC METER	(E)
M	BOLLARD DOWNSPOUT	® □	ECP G	ELECTRIC CONTROL PANEL GAS METER	6 6 6
~~	FLOW DIRECTION	- ~~	©	GAS VALVE	<u>©</u>
IJ ⟨X)	DRAINAGE AREA FIRE HYDRANT	XX)		MANHOLE CATCH BASIN	\bigcirc
	11.010.11	_		구기에 중시하다 구기 (구기)	W .

DRAINAGE AREA FIRE	(XX)		MANHOLE	(
HYDRANT	<u>a</u>	\bigcirc	CATCH BASIN	ď
SPIGOT	O +		INLET	اِ
WATER VALVE WATER	×		FLARED END SECTION	5
METER PIT	⊛		CLEAN OUT	(
WATER CURB STOP	₩ છ	LS	LIFT STATION	<u>[[</u>
WATER WELL	w	W	VALVE VAULT	Ī,
MONITORING WELL	⊗	www See	WET WELL BUSH	
CABLE SPLICE BOX TELEPHONE PEDESTAL	⊗ ⊠ □	~ ~	STUMP	~
POWER POLE	Ш	20	STOMP)S
GUY WIRE	Ø E		CONIFER TREE	
HANDHOLE	H		COMILEN TREE	1
DOUBLE HANDHOLE	HH			
JUNCTION BOX	J	{ }	DECIDUOUS TREE	{
ELECTRIC JUNCTION BOX				کر
	E			
EXISTING			PROPOSED	
	CENTERLINE O	F ROAD		
CATV	OVERHEAD CA	BLE TV	CATV	
	BUILDING OVE	RHANG		
0 0 0 0	GUARDRA	AL.		
(-	FENCELIN		×	
s 	SILT FEN	CE	% 	
3 - 3 (7) 1 S - 3 (5) 1 S - 3	DITCH LINE/WAT	ER EDGE		
	DRAINAGE AREA			
	SURVEY EAS			
1—1 1—1 1—1 1—1 1—1	RIGHT OF			
a 	RAILROA		% 	
	WATER M	AIN	w	

	SILT TENOL	
	DITCH LINE/WATER EDGE	
	DRAINAGE AREA BORDER	— . —
	SURVEY EASEMENT	
	RIGHT OF WAY	
	RAILROAD	\$
	WATER MAIN	W
WS	WATER SERVICE	ws
UE	UNDERGROUND ELECTRIC	———UE———
OE	OVERHEAD ELECTRIC	OE
ES	ELECTRIC SERVICE	———ES ———
UT	UNDERGROUND TELEPHONE	UT
ot	OVERHEAD TELEPHONE	——от——
TS	TELEPHONE SERVICE	———TS ———
FO	FIBER OPTIC	F0
	GAS LINE	G
GS	GAS SERVICE	GS
ST	STORM	ST
TILE	SEWER TILE LINE	TILE
PERF	PERFORATED PIPE	PERF
DL	DRAIN LINE	DL
FM	FORCE MAIN	———FM———
SAN	SANITARY SEWER	
SS	SANITARY SERVICE	ss
— — 589 — —	CONTOUR LINE	 589
	BUSH/TREE/CROP/VEG CONC	
	CURB & GUTTER	
<u>12</u>		0

	BITUMINOUS SURFACE			
4	CONCRETE SURFACE			
7	AGGREGATE SURFACE			
YX	BRICK SURFACE			
	RIPRAP			
	SURFACE SUBGRADE			
///	BUILDING/STRUCTURE			
/V V/V	SPOT ELEVATIONS			
XX.XX	(SEE ABBREV.)			

XXX.XX

Bruner,

188 East Simmons Street Galesburg, Illinois 61401 309.343.9282

308 North 3rd Street
Burlington, Iowa 52601 319.752.9282 835 Golden Valley Drive Bettendorf, Iowa 52722

563.355.1856 L PROFESSIONAL DESIGN FIRM:

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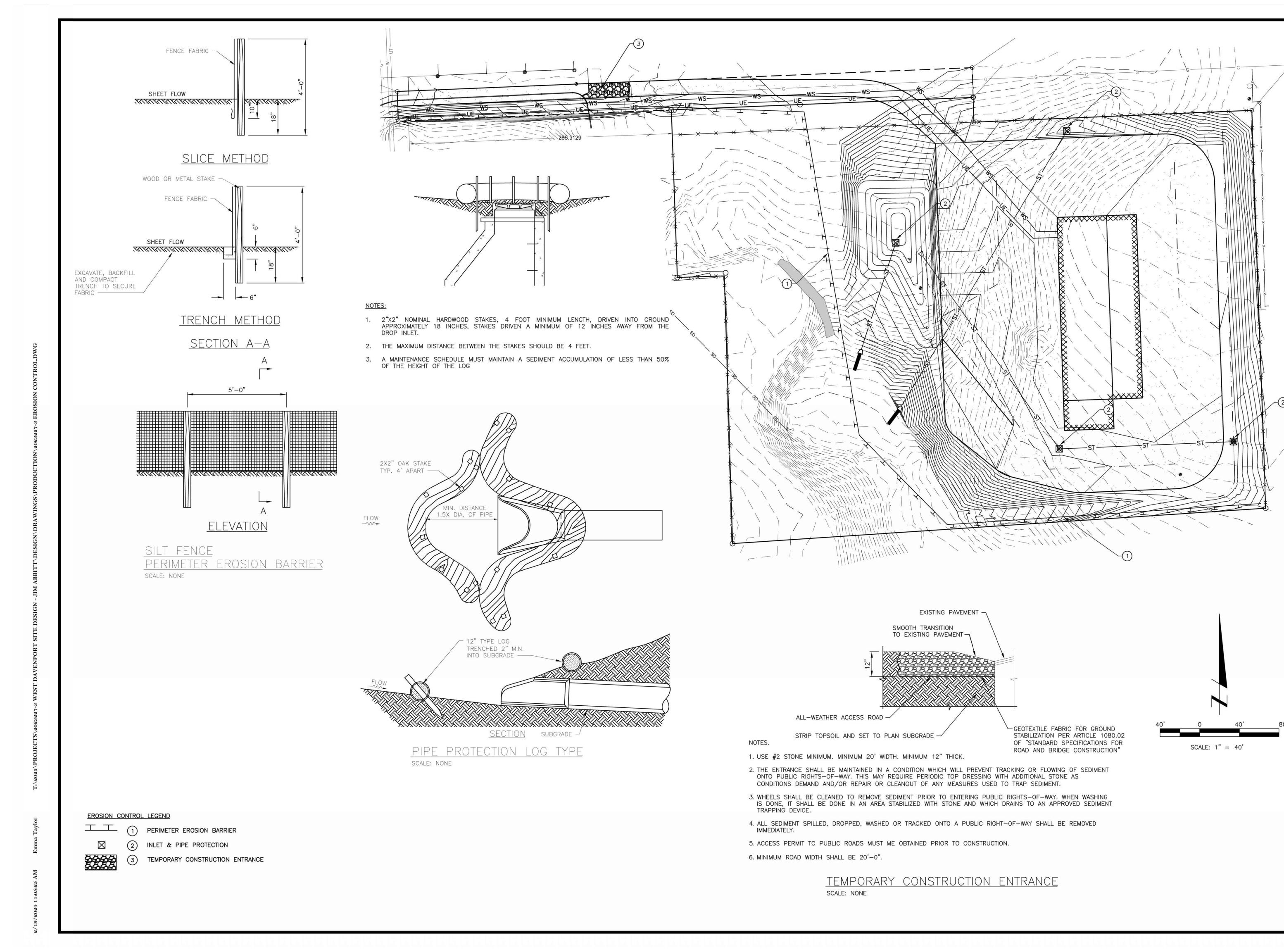
ISSUE RECORD

RECORD DOCUMENTS

GENERAL NOTES ADN LEGEND

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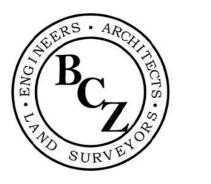


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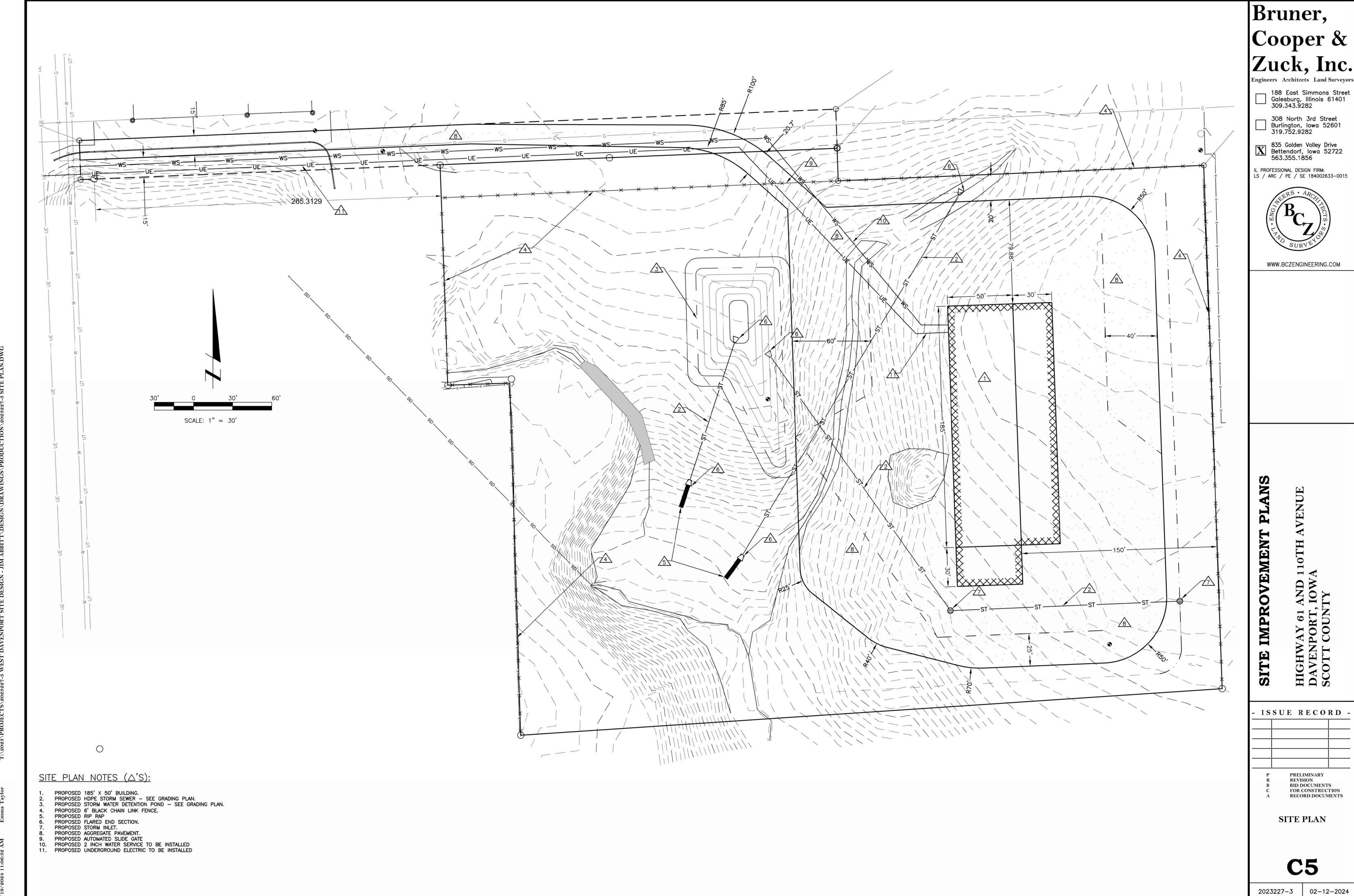
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EROSION AND SEDIMENT CONTROL

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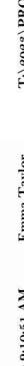


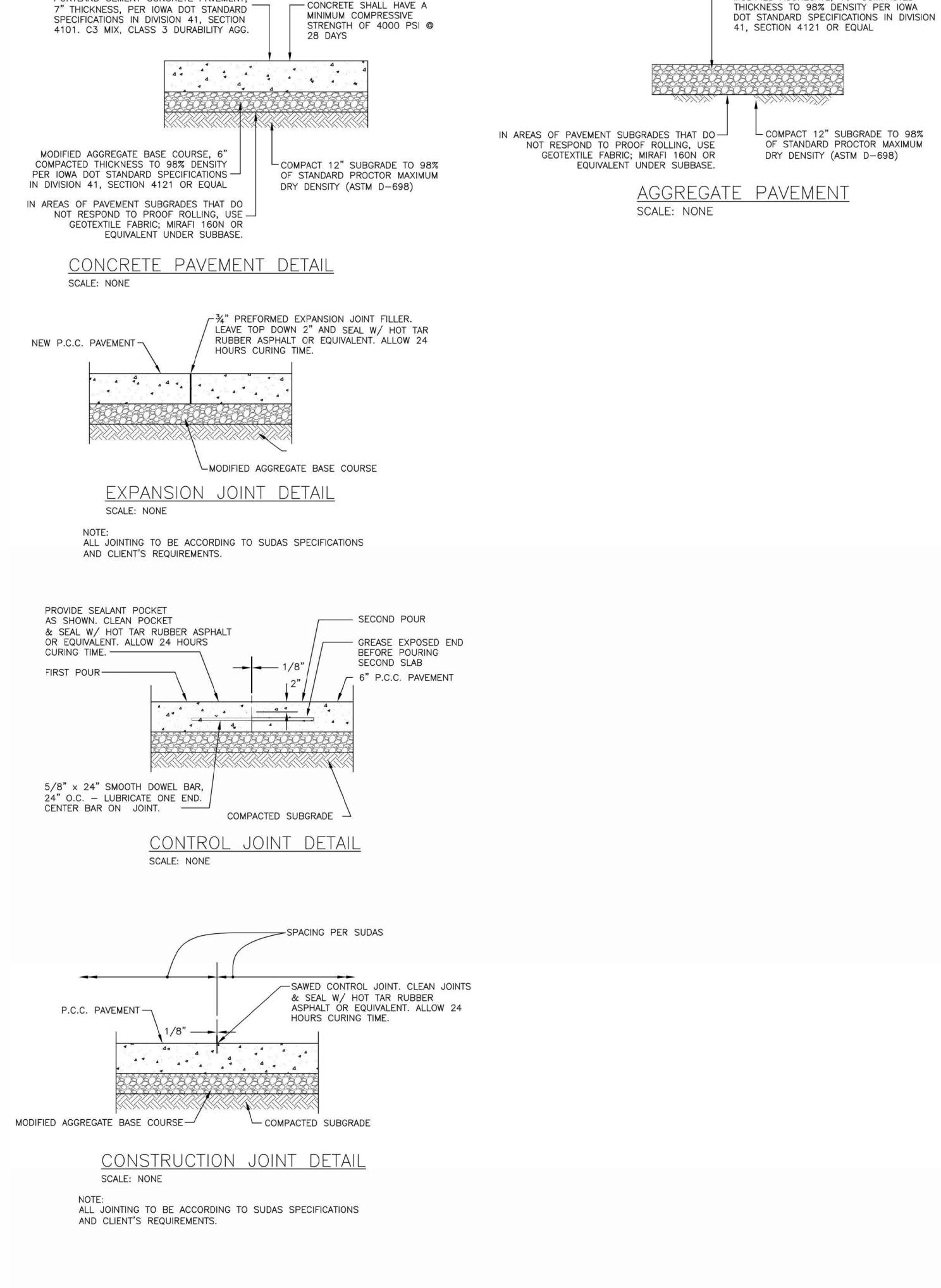
Zuck, Inc.

Cooper & Zuck, Inc.



PORTLAND CEMENT CONCRETE PAVEMENT,



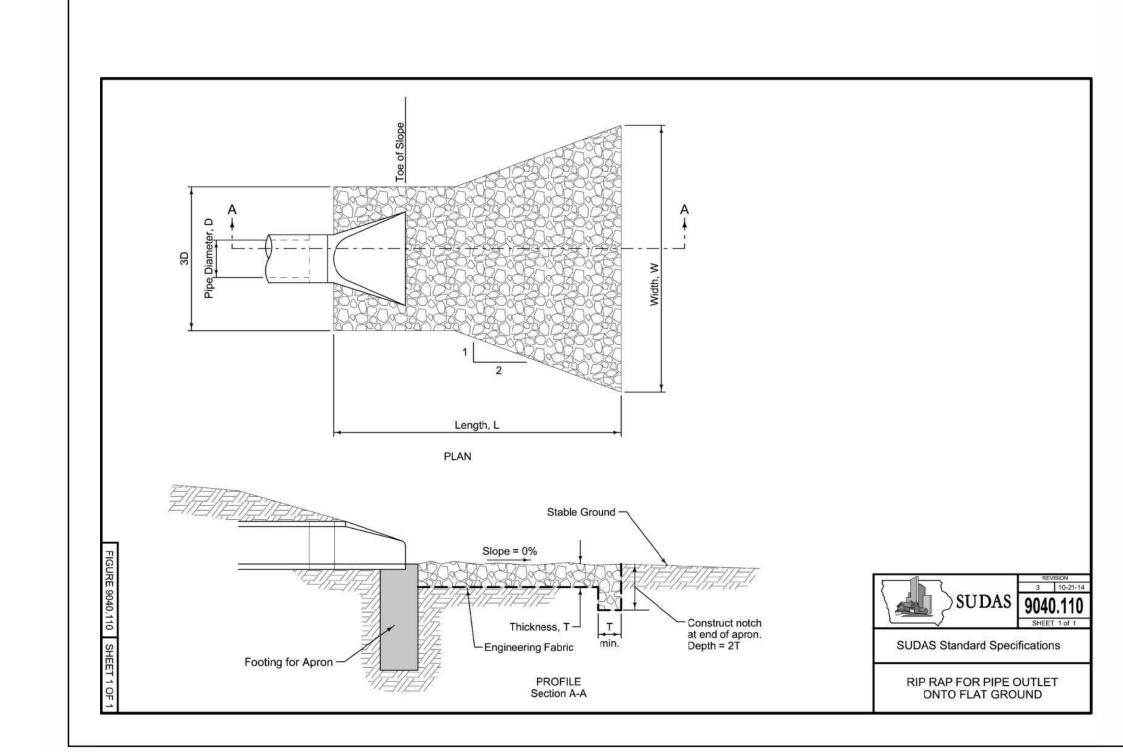


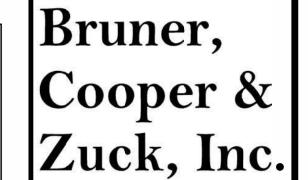
MODIFIED AGGREGATE, 10" COMPACTED

COMPACT 12" SUBGRADE TO 98%

DRY DENSITY (ASTM D-698)

OF STANDARD PROCTOR MAXIMUM





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DETAILS

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