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**SCOTT COUNTY**  
**ZONING BOARD OF ADJUSTMENT**  
**AGENDA**  
**Wednesday, January 24, 2024**  
**4:00 P.M.**

1. **Call to Order**
2. **Attendance**
3. **Election of 2024 Officers:** Election of Chair and Vice-Chair for the 2024 Scott County Zoning Board of Adjustment
4. **Approval of Minutes:** Approval of the December 20, 2023 meeting minutes.
5. **Public Hearing – Variance:** Request from **Alan Carter** to allow the construction of a 45’ X 30’ accessory building to proceed, with a 0’ setback from a side property line in lieu of the 10 feet (10’) prescribed in the Zoning Ordinance, at the property address 6200 115<sup>th</sup> Street, legally described as Lot 20 of Village Oaks in Section 18 of Buffalo Township (Parcel #721817120).
6. **Old Business**
7. **Zoning Administrator’s Report**
8. **Public Comment**
9. **Adjournment**

*Public Hearing Procedure:*

- a. Chairman reads notice of public hearing.
- b. Director reviews case.
- c. Applicant/Representative speaks on behalf of request.
- d. Public may ask questions or make comments.
- e. Director makes staff recommendation.
- f. Applicant may respond to comments and/or recommendation.
- g. Board members may ask questions.
- h. Chairman closes the public portion of the hearing. (No more comments from public or applicant.)
- i. Discussion period to determine justification for decision.
- j. Board members move to accept, reject, or modify request.
- k. Final vote. Case closed. Three members of the Board constitute a quorum. The concurring vote of three members of the Board shall be necessary to reverse any decision or determination of the zoning administrator or to decide in favor of an application for a variance or conditions for a special use permit. The Board of Adjustment is “quasi-judicial” and not a recommending body. Therefore, any appeals to their decisions should be filed with District Court within 30 days of the meeting.

**PLANNING & DEVELOPMENT**

600 West Fourth Street

Davenport, Iowa 52801-1106

Office: (563) 326-8643

Fax: (563) 326-8257

Email: [planning@scottcountyiowa.com](mailto:planning@scottcountyiowa.com)



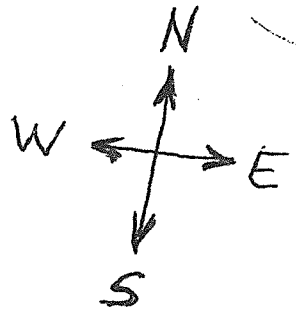
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**SCOTT COUNTY  
ZONING BOARD OF ADJUSTMENT  
NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Scott County Planning and Development Department has on file the following application as allowed by the Scott County Zoning Ordinance. In accordance with Section 6-30, this Notice is being sent to all property owners of record within 500 feet of the area in question and to appropriate County officials to notify all of a public hearing to be held in the **1<sup>st</sup> Floor Board Room, County Administrative Center, 600 W 4<sup>th</sup> Street, Davenport, IA, 52801** on **Wednesday, January 24, 2024 at 4:00 P.M.**

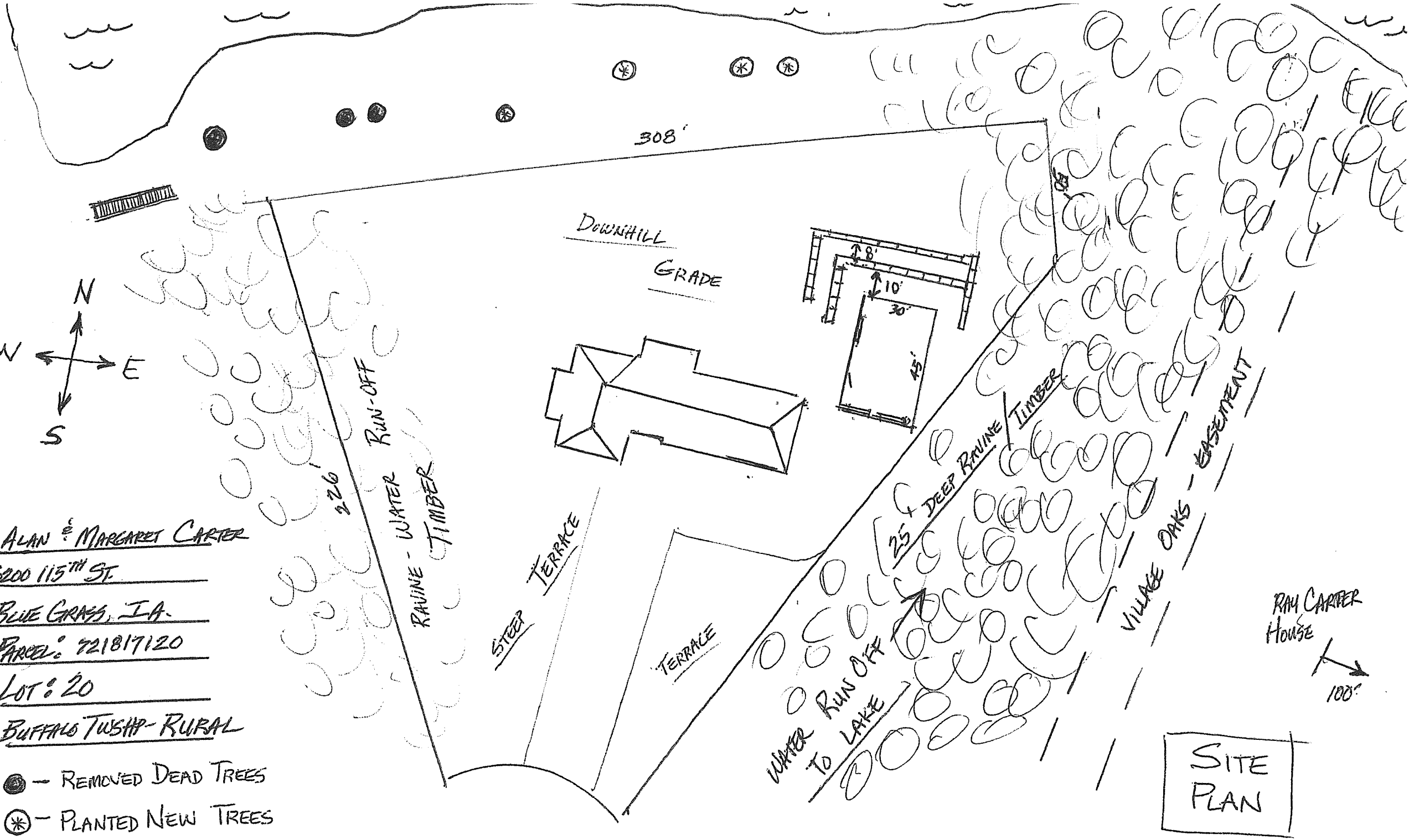
The Zoning Board of Adjustment will hear the request of **Alan Carter** to allow the construction of a 45' X 30' accessory building to proceed, with a 0' setback from a side property line in lieu of the 10 feet (10') prescribed in the Zoning Ordinance, at the property address 6200 115<sup>th</sup> Street, legally described as Lot 20 of Village Oaks in Section 18 of Buffalo Township (Parcel #721817120). The applicant cites the lot topography as the hardship warranting approval of the variance.

If you have questions or comments regarding this meeting or the requested variances please call, write or email the Planning and Development Department, 600 West Fourth Street, Davenport, Iowa 52801, (563) 326-8643, [planning@scottcountyiowa.gov](mailto:planning@scottcountyiowa.gov) or attend the meeting.



ALAN & MARGARET CARTER  
6200 115<sup>TH</sup> ST.  
BLUE GRASS, IA.  
PARCEL: 721817120  
LOT: 20  
BUFFALO TWP - RURAL

- - REMOVED DEAD TREES
  - \* - PLANTED NEW TREES
- 1/4" SCALE

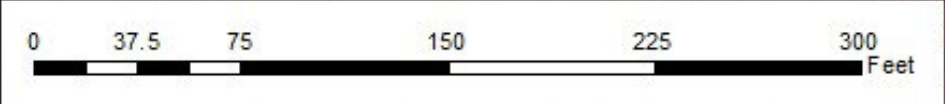


SITE PLAN

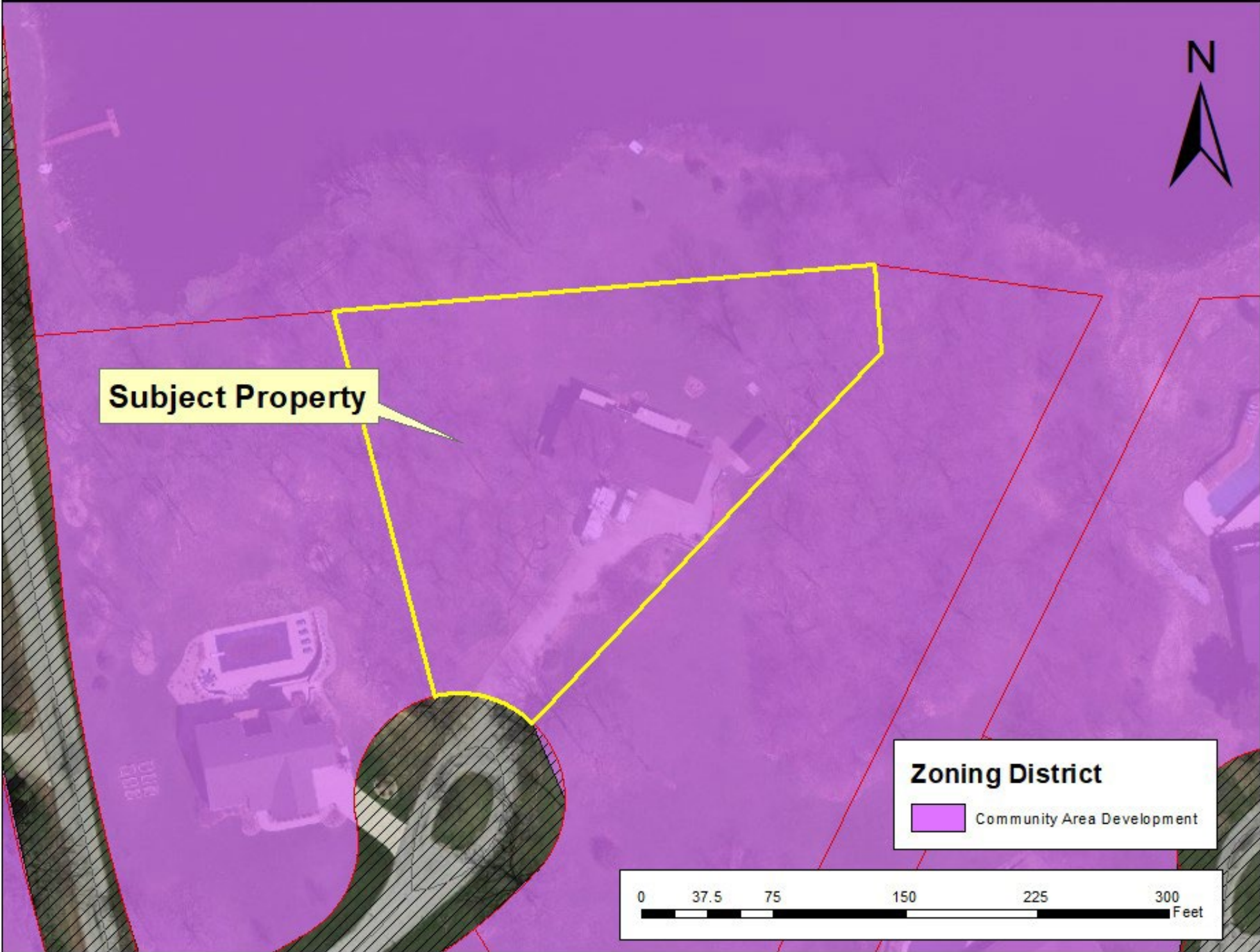
RAY CARTER HOUSE  
100'



**Subject Property**



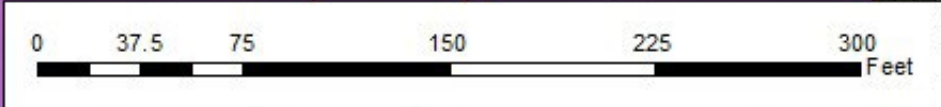




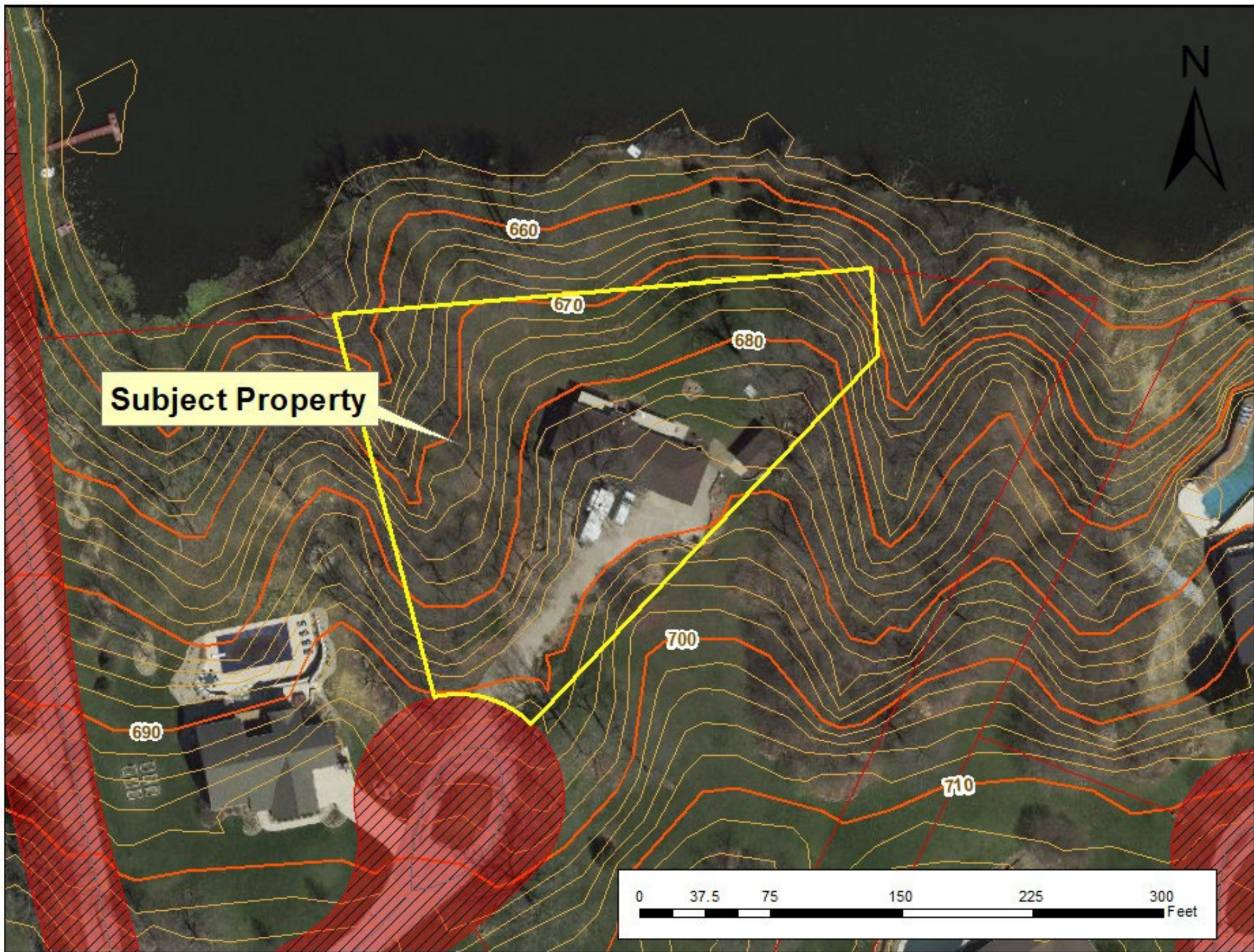
**Subject Property**

**Zoning District**

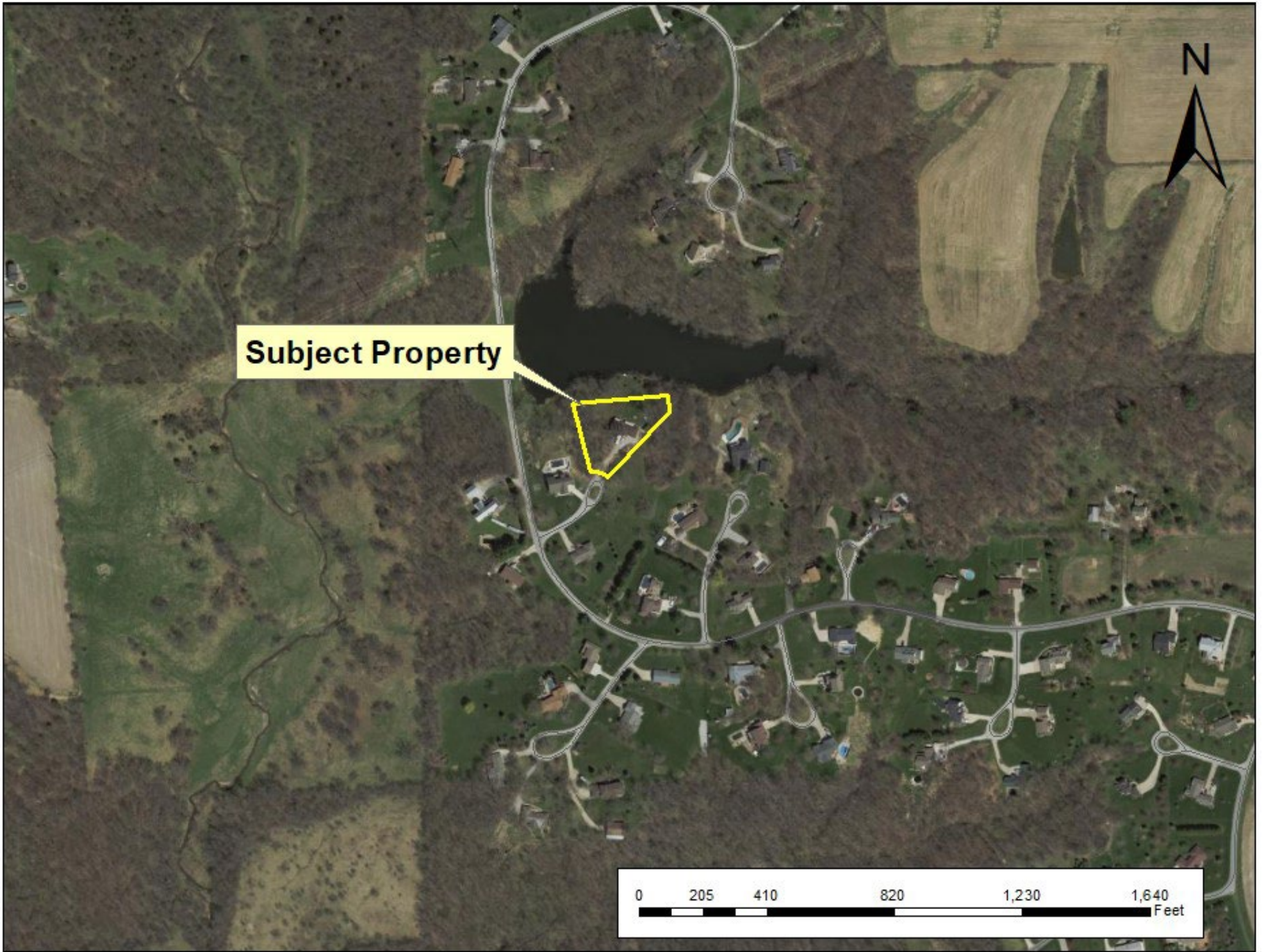
 Community Area Development



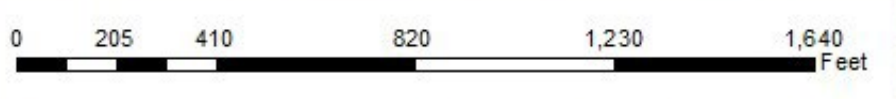




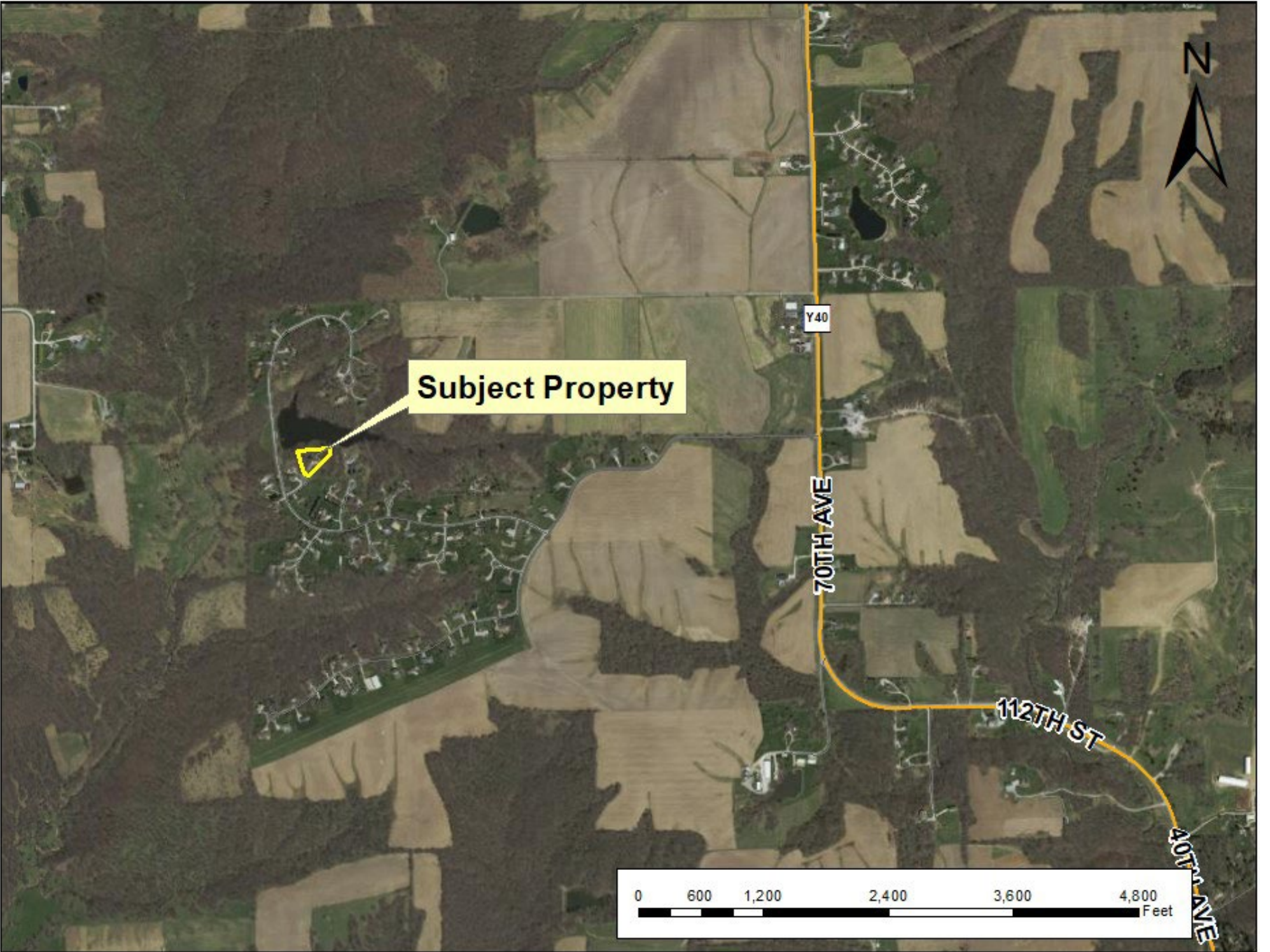




**Subject Property**







**Subject Property**

Y40

70TH AVE

112TH ST

40TH AVE

N







**Appeal to the Scott County Board of Adjustment**

Date: DEC. 17 2023

**Applicant**

Name: ALAN CARTER  
 Address: 6200 115<sup>TH</sup> ST.  
BLUE GRASS, IOWA 52726  
 Phone: 563-529-5234  
 Email: carteram71@mchsi.com

**Deed Holder or Property Owner**

Name: ALAN & MARGARET CARTER  
 Address: 6200 115<sup>TH</sup> ST.  
BLUE GRASS, IOWA 52726  
 Phone: SAME  
 Email: \_\_\_\_\_

Address of the affected area: 6200 115<sup>TH</sup> ST. BLUE GRASS, IA 52726  
 Legal description: PARCEL 1D - 721817120 ALT 1D - 1C - U - 77  
 Section: VILLAGE OAKS 1ST SUBDIV. Township: BUFFALO - RURAL Zoning Classification: RESIDENTIAL

Check the appropriate appeal:

- Appeal of the interpretation made by the zoning administrator of zoning text or map boundaries
- Special use permit
- site plan and general description of the use are attached
- Variance to the rules of the Zoning Ordinance

Specifically, I would like to: OBTAIN PERMISSION TO FINISH CONSTRUCTION OF GARAGE POSITIONED NEAR LOT LINE. NEIGHBORING LANDOWNER SIGNED AGREEMENT WITH LAYOUT AT EDGE OF 25' RAVINE/TIMBER

**Variance Only** – The reason why this is an exceptional situation unique to this property:

PROPERTY LINE IS AT EDGE OF 25' DEEP RAVINE/TIMBER CONTOUR, HAD PURCHASED BUILDING ORIGINALLY TO SIT FARTHER FROM EASEMENT. AFTER CONSTRUCTING 100-3000 LB. TEXTURED BLOCK DOUBLE 4' HIGH WALLS, 8 FT. FILL DIRT TO LEVEL HILLSIDE - THOUGHT IMPORTANT TO MOVE BUILDING TOWARD FRONT TO SHALLOW COMPACTED DIRT. WITH PIE SHAPED NARROW LOT, THIS MOVED BUILDING TO LOT LINE.

I (We) further state that if this request is granted, I (we) will proceed with the actual construction in accordance to the conditions set by the Board of Adjustment, after the application and issuance of a building permit from Planning and Development and in the two (2) year time period as prescribed by Section 6-27.F.(8) of the Zoning Ordinance.

Applicant's Signature Alan Carter

Deed Holder's Signature Alan Carter  
Margaret Carter

Fees Paid (Circle one):

Appeal of Interpretation  
 \$50

Special Use Permit  
 Less than 5 acres = \$100  
 5 to 10 acres = \$150  
 Ten acres or more = \$200

Variance  
 \$100



# Scott County / City of Davenport, Iowa

## Summary - Auditor's Office

**Parcel ID** 721817120  
**Alternate ID** 1C-U-77  
**Property Address** 6200 115TH ST  
 SCOTT COUNTY IA 0  
**Sec/Twp/Rng** N/A  
**Brief Tax Description** VILLAGE OAKS 1ST SUBD Lot: 020 VILLAGE OAKS 1STSUBD  
 (Note: Not to be used on legal documents)  
**Deed Book/Page** 2004-5230  
**Contract Book/Page**  
**Gross Acres** 1.11  
**Net Acres** 1.11  
**Adjusted CSR Pts** 0  
**District** BUDE - BUFFALO TWP DAVENPORT FDE  
**School District** DAVENPORT SCHOOL  
**Subdivision** VILLAGE OAKS 1ST SUBD



## Owners - Auditor's Office

**Deed Holder**  
 CARTER ALAN W  
[6200 115TH ST](#)  
 BLUE GRASS IA 52726

CARTER MARGARET LYNN  
[6200 115TH ST](#)  
 BLUE GRASS IA 52726

**Contract Holder**  
**Mailing Address**  
 CARTER ALAN W  
 6200 115TH ST  
 BLUE GRASS IA 52726

## Land - Assessor's Office

**Map Area** BUFFALO TWP-R  
**Lot Area** 1.11 Acres ; 48,325 SF

Land Sizes Used For Assessment Purposes Only. Not A Survey Of The Property.

## Residential Dwelling - Assessor's Office

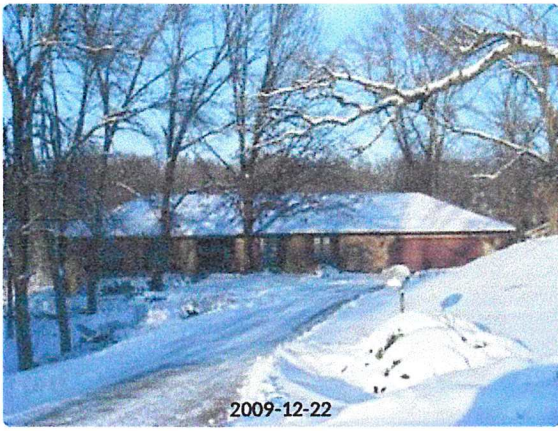
**Residential Dwelling**  
**Occupancy** Single-Family Dwelling  
**Style** 1 Story Frame  
**Year Built** 1976  
**Exterior Material** Alum  
**Total Gross Living Area** 1,690 SF  
**Attic Type** None;  
**Number of Rooms** 7 above; 2 below  
**Number of Bedrooms** 4 above; 0 below  
**Basement Area Type** Full  
**Basement Area** 1,690  
**Basement Finished Area** 844 - Rec Room w/ Walk-Out  
**Plumbing** 3) Full Std Bath-Tub or Cmbo  
**Central Air** Yes  
**Heat** F/A-Gas  
**Fireplaces** 1 Prefab; 1 Freestanding;  
**Porches** Concrete Stoop/Deck (59 SF);  
**Decks** Patio, Concrete (140 SF); Deck, Wood (532 SF);  
**Additions**  
**Garages** 624 SF - Att Frame (Built 1976);

## Yard Extras - Assessor's Office

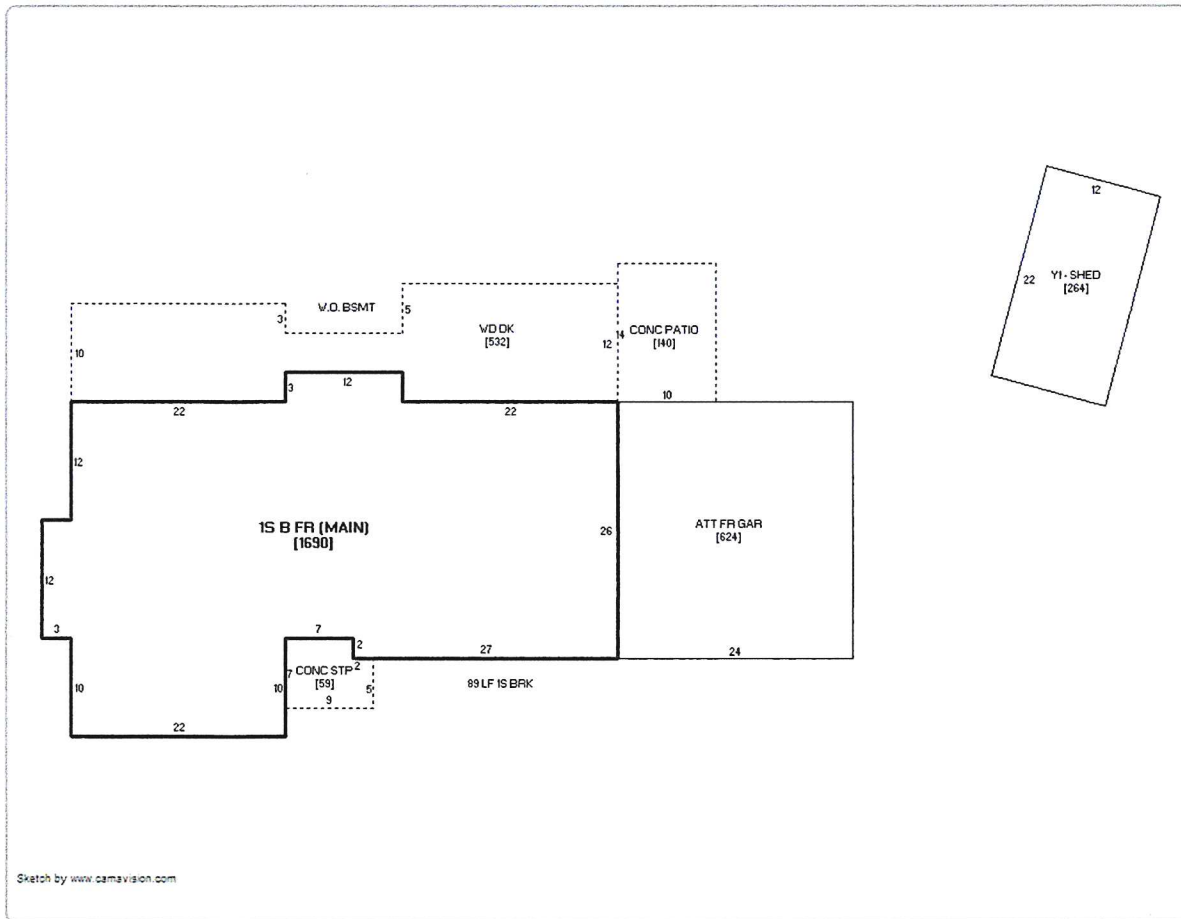
#1 - (1) Shed W12.00 x L22.00 264 SF, Frame Shed, High Pricing, Built 2001

## Photos - Assessor's Office





Sketches - Assessor's Office



Permits - Assessor's Office

Permit #	Date	Description	Amount
BU00540	08/15/2001	Shed	2,500

Sales - Assessor's Office

Date	Seller	Buyer	Recording	Sale Condition - NUTC	Type	Multi Parcel	Amount
2/13/2004	THUMANN LARRY H	CARTER, ALAN W	<a href="#">2004-5230</a>	NORMAL - Normal Arms-Lngth Transaction	D-Deed		\$223,100.00
5/28/1976		THUMANN, LARRY H	<a href="#">1976-9347</a>	NORMAL - Normal Arms-Lngth Transaction	D-Deed		\$14,750.00
4/23/1976		THUMANN, LARRY H	<a href="#">1976-7953</a>	NORMAL - Normal Arms-Lngth Transaction	C-Contract		\$15,250.00

Village Oaks Homeowner's Association  
Architectural Design Committee

Your plan dated 12-1-23, drawn by ALAN CARTER (has) (has not) been approved subject to the site plan submitted for Lot 20, Village Oaks, with the following conditions:

The home/home improvement located and constructed on the lot will be built as shown on the plans submitted and will be constructed in accordance with existing Scott County building codes and further restrictions and requirements of the Village Oaks Homeowners Association as shown in the protective covenants dated October 25, 1975 and filed on November 26, 1975, DOC# 18727-75.

In order to protect our roadways, no concrete or material delivery trucks will drive on Village Oaks roadways with any axel weight of more than 6 tons. Concrete trucks will not be allowed to park or wait on any Village Oaks roadways while the mixer drums are rotating. All mixer drum clean out will be done on the lot where the concrete is being delivered or outside of the Village Oaks subdivision.

All construction sites will be picked up daily so that refuse will not be allowed to blow around the Village Oaks subdivision area.

Under Article 5, Section 4 of the Village Oaks Protective Covenants, any and all improvements shall be constructed within the following guidelines:

- 1) 50 feet from the front lot line
- 2) 40 feet from the rear lot line
- 3) 35 feet from the side lines

If due to the contour of any lot, these requirements cannot be made, the design committee shall have the power to waive these restrictions with full consideration to those adjacent lots.

This agreement has been read and approved by the homeowners, builder/Contractor, and the Village Oaks Architectural Design Committee.

Homeowner:

Alan Carter

Builder/Contractor:

Alan Carter #11412 IOWA

Design Committee:

Steven Macklin (See Attached)

\_\_\_\_\_

\_\_\_\_\_



To; Village Oaks Homeowners Association  
Architectural Committee  
Att; Steve Mueller ( email: spmueller@mchsi.com )  
CC; Chris Stills  
Scott Co. Planning and Development  
From; Alan and Margaret Carter ( email : carteram71@mchsi.com )  
Lot # 20  
6200 115 th St Blue Grass, IA 52726  
parcel number-721817120

Included with this letter are initial drawings of garage showing the bottom 3 ft perimeter plans to construct an apron, chair rail of brick or stone veneer to closely match the brick on front of house. Further plans to match garage to appearance of house consist of matching color of metal siding on my home to the color of metal siding on garage. We ask the HOA Village Oaks for approval on this plan to satisfy covenant rules within Village Oaks HOA.

( Homeowner) Alan Carter x Alan Carter 12-1-2023

(Homeowner) Margaret Carter x Margaret Carter 12-1-2023

(HOA Village Oaks Architectural Comm. )  
Steve Mueller x \_\_\_\_\_ date \_\_\_\_\_

x \_\_\_\_\_ date \_\_\_\_\_

To: Scott County Planning and Development  
Scott County Board of Adjustments

From : Alan Carter  
6200 115th St  
Blue Grass, Ia. 52726

Re: Similar Constructed/ Positioned Buildings in Village Oaks

The following is a partial property list have similar Detached Buildings whether approved or unapproved, buildings that lie on or near lot lines, and that are constructed with like materials of steel, steel roofing ;

- 6205 116th St Lot 17 ----- Steel Siding constructed House- HOA Officer  
----- New Steel Building Garage 40'x 20'
- 11700 61st Ave Pl. Lot 26 ----- 3rd Garage (Unapproved)  
----- private asphalt circular road / entrance-exit directly  
adjoined to cul de sac
- 6230 116th St Lot 23 ----- Utility Building Large
- 11532 61st Ave Lot 46 ----- Utility Building
- 11525 61 St Ave Lot 51 ----- Steel Building 40'x 56'
- 11510 61st Ave. Lot 48 ----- Utility Building
- 11665 62nd Ave Pl Lot 32 ----- Garage / Shed
- 6378 116th St Lot 34 ----- Garage
- 6380 116th St. Lot 35 ----- Garage
- 6434 116th St ----- Utility building
- 6135 116th St Lot 6 ----- Multiple Garages
- 6125 116 th St Lot 5 ----- Building



Decks Open (96 SF);  
 Additions Deck, Wood (746 SF);  
 1 Story Frame (10 SF);  
 Garages High Ceiling-Frame (308 SF) (308 Bsmt SF);  
 Basement Stall - 4 stalls;

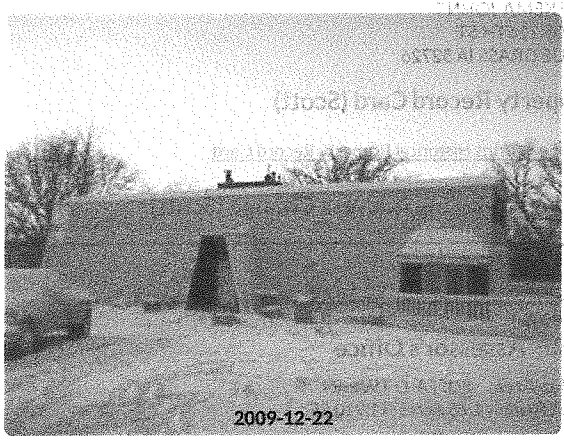
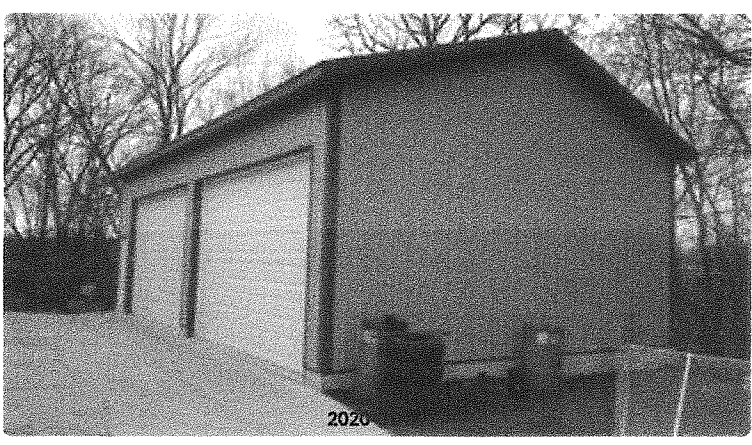
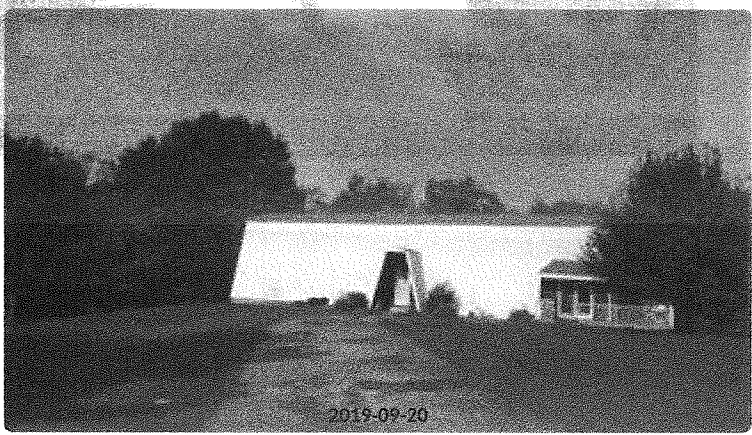
**Agricultural Buildings - Assessor's Office**

Plot #	Type	Description	Width	Length	Year Built	Building Area
1	Steel Utility Building		25	40	2019	1000

**Yard Extras - Assessor's Office**

- #1 - (1) Decks, Patios, etc. 252 SF, Wood Deck, Average Pricing, Built 2001
- #2 - (1) Swimming Pool (Residential) 736 SF, WSA, Vinyl, Cover=No, Heat=Average, Diving Brd=Average, Built 1989

**Photos - Assessor's Office**



**Sketches - Assessor's Office**

# Scott County / City of Davenport, Iowa

Garages  
 Additions  
 Decks  
 Open (0 SF);  
 Deck, Wood (746 SF);  
 1 Story Frame (10 SF);  
 High Ceiling-Frame (308 SF) (308 Bamt SF);  
 Basement Stair - 4 Stairs;

## Summary - Auditor's Office

Parcel ID 721817117  
 Alternate ID 1C-U-58  
 Property Address 6205 116TH ST  
 SCOTT COUNTY IA 0  
 Sec/Twp/Rng N/A  
 Brief VILLAGE OAKS 1ST SUBD Lot: 017 VILLAGE OAKS  
 Tax Description 1STSUBD  
 (Note: Not to be used on legal documents)  
 Deed Book/Page 200320352  
 Contract  
 Book/Page  
 Gross Acres 1.65  
 Net Acres 1.65  
 Adjusted CSR Pts 0  
 District BUDE - BUFFALO TWP DAVENPORT FDE  
 School District DAVENPORT SCHOOL  
 Subdivision VILLAGE OAKS 1ST SUBD



## Owners - Auditor's Office

Deed Holder  
 DIEKEMA JOHN T  
 BLUE GRASS IA 52726

DIEKEMA STEPHANIE S  
 6205 116TH ST  
 BLUE GRASS IA 52726

Contract Holder  
 Mailing Address  
 DIEKEMA JOHN T  
 6205 116TH ST  
 BLUE GRASS IA 52726



## Property Record Card (Scott)

[View/Print Historical Property Record Card](#)

## Request Mailing Address Change (Scott)

[Link to Request Mailing Address Change Form](#)



## Land - Assessor's Office

Map Area BUFFALO TWP-R  
 Lot Area 1.65 Acres; 71,910 SF

Land Sizes Used For Assessment Purposes Only. Not A Survey Of The Property.

## Residential Dwelling - Assessor's Office

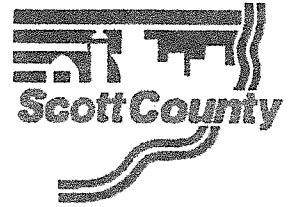
Residential Dwelling  
 Occupancy Single-Family Dwelling  
 Style 1 1/2 Story Frame  
 Year Built 1977  
 Exterior Material Vinyl  
 Total Gross Living Area 3,154 SF  
 Attic Type None;  
 Number of Rooms 6 above; 0 below  
 Number of Bedrooms 4 above; 0 below  
 Basement Area Type Full  
 Basement Area 1,976  
 Basement Finished Area  
 Plumbing 2) Full Std Bath-Tub or Cmbo  
 1) 3/4 Bath-w/ Shwr Still  
 2) Sink, Bath/Vnty/Lvtry  
 Yes  
 Central Air  
 Heat F/A-Gas  
 Fireplaces 1 Freestanding; 1 Prefab;  
 Porches Frame 3 Seasons (276 SF); 1S Frame Open (32 SF); Frame Open 2nd Floor (76 SF); 1S Frame Open (88 SF); Frame Open 2nd Floor (252 SF); 1S Frame





PLANNING & DEVELOPMENT  
600 West Fourth Street  
Davenport, Iowa 52801  
Office: (563) 326-8643  
Fax: (563) 326-8257  
Email: [planning@scottcountyiowa.gov](mailto:planning@scottcountyiowa.gov)

Accessory Building  
Construction Permit Application for  
Unincorporated Scott County



Owner Information

Name: MARGARET & ALAN CARTER  
Address: 6200 115<sup>TH</sup> ST.  
City BLUE GRASS State IA Zip 52726  
Phone: 563-529-5234  
Email: carteram71@mchsi.com

General Contractor Information

Name: ALAN CARTER (LICENSE # 11412)  
Address: SAME  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone: \_\_\_\_\_  
Email: \_\_\_\_\_

\*\*Please indicate preferred contact for payment, permit inquiries, and inspections:

Owner  General Contractor

Final Permit Fee is determined by Planning & Development upon review of this completed application packet. Fee is based on value and adopted fee schedule.

Estimated Job Cost: \$ 22,000.

Final Permit Fee is determined by Planning & Development upon review of this completed application packet. Fee is based on value and adopted fee schedule.

Property Information of Job Site

Job Site Address: 6200 115<sup>TH</sup> ST. City BLUE GRASS State IA Zip 52726

\*\*All non-traditional buildings (i.e. post-frame buildings) require engineer stamped construction plans.\*\*

Proposed Construction Description (PICTURES AVAILABLE)

- CONSTRUCT ENGINEERED STEEL FRAME/BEAM BLDG. 30' X 45', STEEL SIDED, SUPERCEDING WIND LOAD & SNOW LOAD PPSI <sup>W/ EXTRA BEAM</sup>
- CONCRETE FLOATING SLAB: PERIMETER 24" W X 20" D, VAPOR BARRIER. DOUBLE ROWS 1/2" RE-BAR/CHAIRS, 12' LENGTHS OF MESH (RAISED) (SLAB = 5" THICK) EACH OVERLAPPED 2 FT.

REQUIRED SUBMITTAL CHECKLIST:

- Signed & Completed Permit Application
- Two (2) Sets of Full-Size Building Plans
- Site Plan (with lot dimensions and setbacks)
- Zoning Approval
- Floodplain Development Permit (if applicable)

I hereby acknowledge that I have read this application and state that the above is true and correct to the best of my knowledge and belief. I agree to comply with all applicable County Ordinances or City Ordinances and all State Laws regulating Building Construction. If any information provided is incorrect, the building permit may be revoked.

Applicant Signature:

Alan Carter

Date: 11, 17, 2023

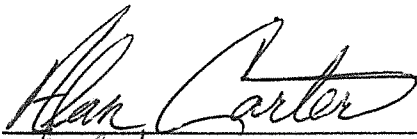
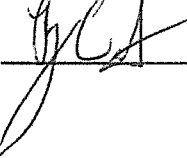
Subject: Garage Construction / Lot Line -East  
6200 115 th St  
Blue Grass, IA 52726  
Lot # 20 Parcel # 721817120

Village Oaks Association Easement Rules at Front/ Side/ Rear of properties  
Front Line : 50 ft - distance is over 200 ft from lot line  
Rear Line : 40 ft- distance is 50 ft / over 100 ft to lake shoreline  
Side Line : 35 ft - distance is 15 ft ( this distance was originally closer to the permitted distance , ( building was to set 8' to rear ) but felt moving building south towards front for proper compaction of dirt and strength in tier retaining wall

It is understood that both parties involved, Alan Carter (East property line) and Ray Carter (West property line) are in agreement and if needed, this letter serves as written permission to construct building closer to side property line than the requirement of HOA distance of 35 feet.

Furthermore, Alan Carter has permission to use an agreed amount of dirt for use of leveling ground work in construction of building, and have a private agreement that landscaping will be completed and tastefully done, with drain tiling / drainage rock properly installed and terminated.

We ask the Village Oaks Homeowners Association for consideration in this variance, it is believed to be an improvement in value and appearance to the neighborhood.

CELL - (563-529-5234)	Alan Carter		11-17-23
CELL - (563-559-0426)	Ray Carter		11-20-23



To: Scott County Planning and Development, Alan Silas

Scott County Board of Adjustment

Village Oaks HOA - Blue Grass, Ia. / Architectural Comm.

From: Alan Carter  
6200 115 th St.  
Blue Grass, Iowa, 52726  
Parcel: 721817120  
1st Subdivision Village Oaks  
Buffalo Township- Rural  
Lot: 20  
ph: 563-529-5234

Ray Carter  
11640 61st St Ave Pl  
Blue Grass, Iowa 52726  
Parcel: 721817251  
1st Subdivision Village Oaks  
Buffalo Township  
Lot: 24 & 25  
ph: 563-559-0426

Iowa Master License #11412( Dual )  
Iowa Contractor License

Re: - Permit Application  
- Permission to finish construction / Garage placement - Easement

April 2023; purchased an Olympia Steel Building w/ Steel Beams, 30x45 that original buyer ordered , but could not pay for / pick up. Original cost \$ 43,500. I was able to buy this quality fireproof new building for \$ 22,000. delivered.

I met with Ray Carter , discussed the building project and layout on my lot ( Alan Carter ) which is the East side of house on pie shaped property next to the deep ravine covered with timber. Plan was to encompass the north end of building with two four ft high wall tiers made from 2'x2'x4' - 2000 lb textured retaining block = 100 blocks. 18"w x 48"h of drainage rock , felt & 4" perforated tile for drainage directly behind walls and fibered grid to interlock blocks. We were in agreement with site plan , subsequently signing a letter to the fact. Being on a Hillside , needed to fill in / compact down dirt as it is filled . With 8' of fill needed to level. I felt spacing the tier walls farther apart was crucial for stability. Repeating same procedure on another wall uphill.

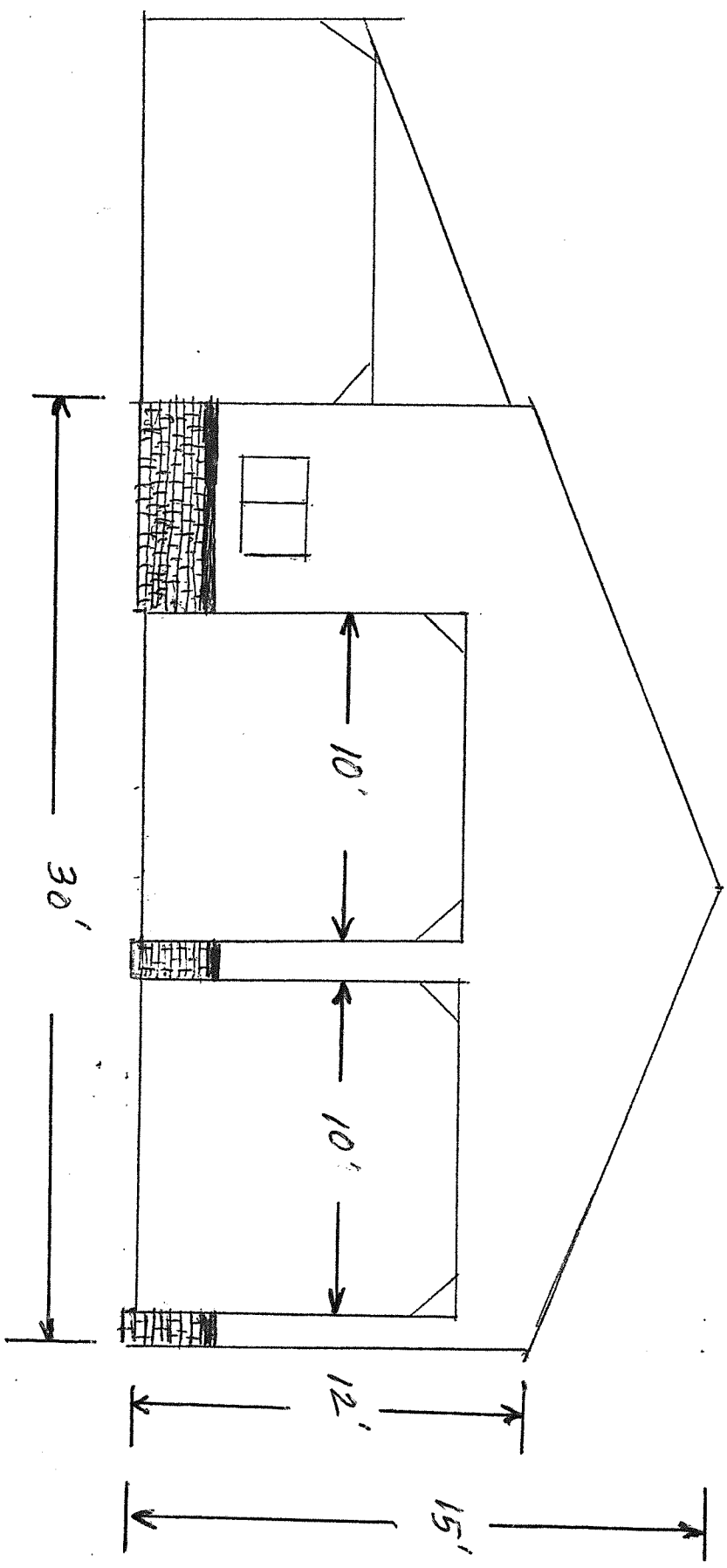
With the weight of blocks also , i believed spacing the garage South toward more shallow compacted dirt ( over natural dirt) would be important to eliminate settling. Upon meeting again with neighbor Ray Carter, explaining plan to situate building up close to our Lot Line, showing where it would come out to , he had stated was surely ok with him that it looked to be within line next to deep ravine . He kindly offered to use some of his dirt to move down to help with the fill to level . We had agreed on positioning and believed were within lot lines. Also thought would be ok with HOA Officer across the street with a House constructed of Steel Building design , also just constructed a very similar Garage Steel Building at Lot# 17 across street. With the actual Village Oaks Easement for Lake access running down the opposite side of ravine & timber on next property over at East side of Ray Carter's lot , I started the construction of floating slab with 20"x24" concrete ( 2500psi) perimeter footing / 5" slab. constructed with Double 1/2" rebar on chairs , 8'x12' raised mesh overlapped / tied .

Alan Carter 12-8-23

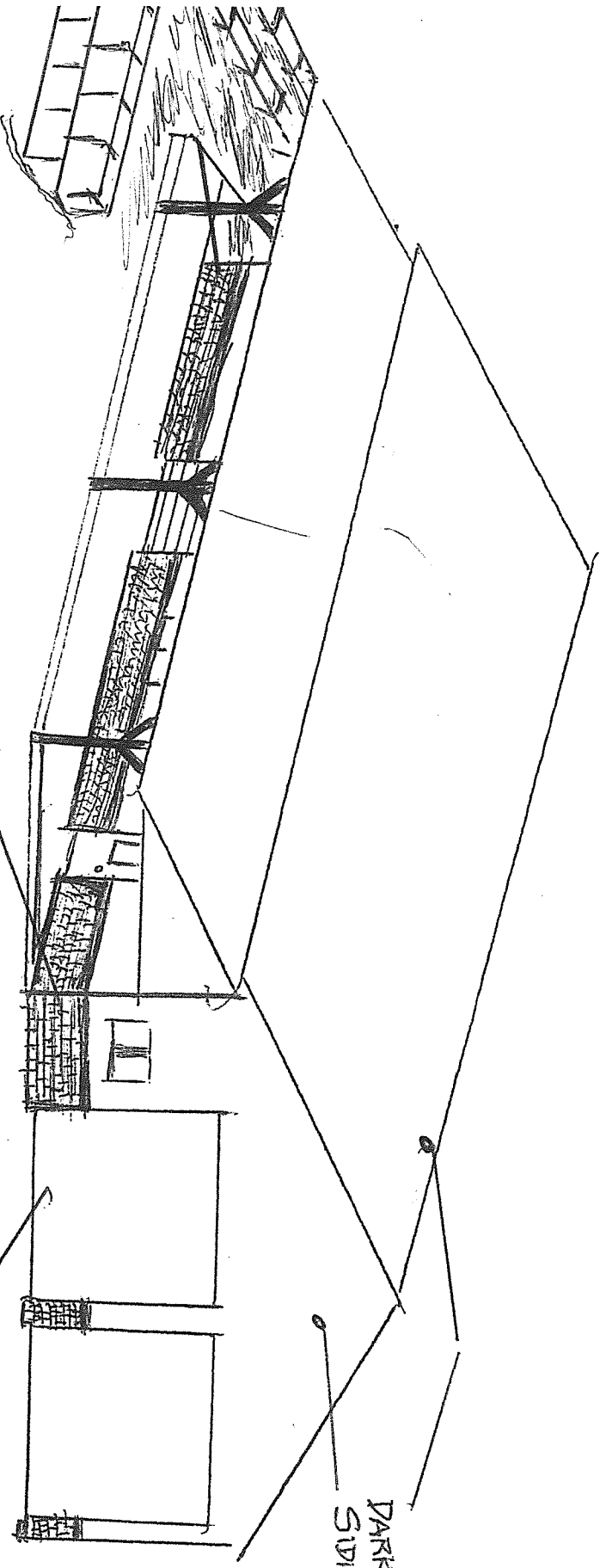
Ray Carter 12-9-23

CARTER LOT-20

SCALE: 3/16"







LIGHT BRICK / VENEER STONE  
TO MATCH BRICK OF HOUSE

ALL DOORS DARK  
BROWN

DARK BROWN  
SIDING &  
ROOF

Wm T. Crain



**OLYMPIA STEEL BUILDINGS®**  
 Universal Steel Buildings Corp.  
 400 Island Ave. • McKees Rocks, PA 15136  
 Tel: (888) 449-7756 • FAX: (412) 771-5731

Amendment: Y  N   
 Document Code: RN  
 Pre-Rel. Comp. Y  N

PURCHASE ORDER										
Buyer:	Alan W. Carter					Estimated Delivery Date:	December		2022	
Contact:	Alan					Ship To Address:	6200 115th St.			
Phone:	(563) 529-5234					City:	Blue Grass	State	IA	ZIP 52726
Email:	carteram71@mchsi.com					Erection Location:	6200 115th St.			
Mailing Address:	6200 115th St.					City:	Blue Grass	State	IA	ZIP 52726
City:	Blue Grass	State	IA	ZIP	52726					

YOUR STEEL BUILDING SPECIFICATIONS												
Dimensions, Framing and Panel Type				Requested Building Codes			Other Specifications					
Width:	30			Building Code:	IBC 15		Wall Color:	Standard				
Length:	45			Wind Load:	115 mph		Trim Color:	Standard				
Height (Eave):	12			Wind Exposure:	C		Roof Coating:	Galvalume				
Roof Pitch:	2		:12	Ground Snow Load:	20 psf		Base Condition:	Angle with Trim				
Bay Spacing:	Mixed			Roof Snow Load:	14 psf		Gutters & Downspouts Included:	No				
Frame Type:	Clear Span C			Collateral Load:	1 psf		Vents Included:	No				
LEW Type:	Post and Beam	REW Type:	Post and Beam	Live Load (Reducible):	20 psf		Wall Light Panels Included:	No				
LEW Bays:	Most Econ	REW Bays:	Most Econ	Seismic Coefficient:	0.163		Roof Light Panels Included:	No				
LEW Bracing:	Other	REW Bracing:	Other	IBC Snow Exposure:	Partially Exposed		<b>Insulation</b>					
FSW Bracing:	Other	BSW Bracing:	Other	IBC Occupancy:	II. Normal		Building to be Insulated:	Yes				
Roof Type:	PBR 26ga	Wall Type:	PBR 26ga	0			Insulation Included:	No				
<b>Special Notes</b>							Wall Insul:	N/A	N/A	Roof Insul:	N/A	N/A
SPECIAL PRICING HONORED WITH PO SIGNED AND DEPOSIT PAID ON 11-14-2022 PER VP							<b>Framed Openings:</b>					
GALVANIZED MAINFRAMES & SECONDARY FRAMING + STAINLESS STEEL HARDWARE INCL.							Framed Openings:	(2) 10x10, 6x6, 3x7 frame outs				
IA STAMPED ENGINEERING & SHIPPING TO BE INCLUDED IN OVERALL COST							Service Doors Included:	No				
ADDITIONAL STRUCTURAL SUPPORT BEAM ADDED AT NO COST (4) BAYS							Overhead Doors Included:	No				
							Windows Included:	No				

Subject to and as further provided at [www.universalwarranty.info](http://www.universalwarranty.info), your steel building may be covered by one or more of the following third party Manufacturer LIMITED WARRANTIES as to the following components: (a) STAINLESS STEEL CAPPED FASTENERS: Manufacturer Limited Lifetime Warranty; (b) PAINT ON WALLS: Manufacturer's 40 year limited warranty against cracking, flaking or peeling and Manufacturer's 30 year limited warranty against chalking and fading; (c) RUST PERFORATION: Manufacturer's 25 year warranty on unpainted roof panels with AZ55 Galvalume coating and Manufacturer painted roof panels with underlying AZ55 Galvalume coating, which Seller extends to 40 years; (d) GIRTS, PURLINS & C-SECTIONS: All are galvanized. Subject to and as further provided in Seller's Provision and Disclaimer of Warranties and/or at [www.universalwarranty.info](http://www.universalwarranty.info), your steel building is covered by SELLER'S LIMITED STEEL BUILDING WARRANTY, which includes a one year limited warranty against material defects in materials and workmanship from date of original shipment of the Building from the manufacturing facility. EXCEPT FOR SELLER'S LIMITED STEEL BUILDING WARRANTY ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, ARE DISCLAIMED. The preceding limited warranty summary is subject to the terms and conditions, limitations and exclusions on pages 1, 2 and 3 hereof and Seller's limited steel building warranty document incorporated herein by reference.

Purchase Price Summary	
Building Price:	\$ 22,000.00
Freight:	\$ 0.00
<b>TOTAL PURCHASE PRICE (pre-tax):</b>	<b>\$ 22,000.00</b>
Engineering Deposit:	\$ 6,600.00
Manufacturing Deposit:	\$ 0.00
Sales Tax (IA) <span style="border: 1px solid black; padding: 2px;">7.00%</span>	\$ 1,540.00
<b>COD Balance upon Delivery:</b>	<b>\$ 16,940.00</b>

Payment Details	
Payment paid via:	<input type="checkbox"/> Visa <input type="checkbox"/> MC <input type="checkbox"/> Check <input type="checkbox"/> Wire <input type="checkbox"/> Other
Credit Card:	Exp. _____ CCV _____
x _____ (Buyer Signature)	
I hereby authorize Seller to charge the card indicated above in the amounts indicated under the Purchase Price Summary at left, including in the amount of the Engineering Deposit payable immediately upon execution of this purchase order. I hereby stipulate, agree and warrant to Seller that under no circumstances shall I or my credit card company stop payment of the above referenced amounts to Seller.	

Subject to and as further provided in Seller's Terms and Conditions, the above named Buyer agrees to pay Universal Steel Buildings Corp. ("Seller") the Total Purchase Price set forth above for the purchase of the steel building described above and in the attached drawings (the "Steel Building") and the components and goods identified herein. The Total Purchase Price is payable in United States dollars by bank cashier's check or certified check as follows:

(1) The Engineering Deposit shown above shall be paid by Buyer to Seller upon Buyer's signature hereof. (2) The Manufacturing Deposit, if any, shown above shall be paid by Buyer to Seller within seven (7) consecutive calendar days of the date that Seller notifies Buyer that Seller is prepared to have manufacture of the Steel Building commenced or to procure the components or goods ordered herein. Seller shall have no obligation to have the Steel Building manufactured or to procure the components or goods ordered until the Manufacturing Deposit is first paid in full to Seller. and (3) The Buyer shall pay the full COD Balance shown above to Seller's truck driver COD upon tender of delivery of the Steel Building and other merchandise ordered herein at the delivery destination by bank cashier's check or certified check made payable to Universal Steel Buildings Corp., before unloading of any of the goods ordered commences. Seller has no duty to allow unloading to commence until full payment of the COD Balance due is first paid to the truck driver as provided above. Under no circumstance is cash to be paid to the truck driver for the COD Balance due and Seller assumes no responsibility if cash is paid to the driver for the Balance. If any payment hereunder is made by Buyer by credit card, Buyer by its signature on the face hereof authorizes Seller to charge the credit card for all amounts due hereunder. Buyer is responsible for unloading the Steel Building and goods ordered and for having the necessary labor and equipment therefor. This purchase order by the above-named Buyer to the Seller shall constitute an agreement binding upon Seller only when accepted in writing by Seller's authorized officer. The representative of the Seller preparing this purchase order is not an officer of the Seller and is not authorized to accept this order of the Buyer. Upon receipt of this order at the home office of the Seller, if the order is accepted by Seller, the "Acceptance" copy hereto will be returned to the Buyer, duly signed by an officer of the Seller, or if not accepted by the Seller, the deposit above shall be returned to the Buyer. Upon acceptance by Seller, the Buyer shall not be entitled to a refund of the whole or any part of any payments made to Seller. Any check or check-by-fax sent by Buyer will be promptly cashed by Seller, and the resulting funds will be held as a deposit by Seller. THIS ORDER IS SUBJECT TO AND INCLUDES THE TERMS SET FORTH IN THIS PURCHASE ORDER, IN THE DRAWINGS ATTACHED AS EXHIBIT 1 HERETO, IN SELLER'S ACCOMPANYING TERMS AND CONDITIONS, AND IN SELLER'S PROVISION AND DISCLAIMER OF WARRANTIES. No verbal conditions, agreements, representations or warranties shall be enforceable against the Seller.

Dated: \_\_\_\_\_

Location: Signed at McKees Rocks, PA

BUYER:

SELLER: UNIVERSAL STEEL BUILDINGS CORP.

Buyer's Signature

Alan W. Carter

Seller's Signature

Amol Das 11-15-22

Title:

Title: Authorized Officer

Seller's Sales Representative

Kenneth Ray



**BUILDING SPECIFICATIONS**

The manufacturer is not responsible for the concrete foundation design. The structure under this contract has been designed and detailed for the loads and conditions stipulated in the contract and shown on these drawings. Any alterations to the structural system or removal of any component parts, or the addition of other construction materials or loads must be done under the advice and direction of a registered architect, civil or structural engineer. The manufacturer will assume no responsibility for any loads not indicated.

This manufacturer building is designed with the manufacturer's standard design practices which are based on pertinent procedures and recommendations of the following organizations and codes: "Specification for the design of American Institute of Steel Construction" "Specification for the design of American Iron and Steel Institute" "Specification for the design of cold formed steel structural members" 2007 edition.

-Metal Building Manufacturers Association "Specification for the design, fabrication and erection of the structural system" most current edition. Material properties of steel plate and sheet used in fabrication of primary rigid frames and all primary structural framing members (other than cold-formed sections) conform to ASTM A-529 or A-572 all with a minimum yield point of 55 KSI.

Material properties of cold formed light gage steel members conform to the requirements of ASTM A-653, with a minimum yield point of 55 KSI. High strength bolts and their installation shall conform to ASTM specification A-325 and are designed as bearing type connections with threads included in the shear plane. All high strength bolts are to be installed to the "Snug-Tight" condition as defined by the RSCC Specification for Structural Joints Using A325 or A490 Bolts, Latest Edition, section 8.1, unless noted otherwise. Bolts in standard holes do not require washers per section 6.

Shop and field inspections and associated fees are the responsibility of the contractor, unless stipulated otherwise.

**CONTRACTOR RESPONSIBILITIES**

The contractor must secure all required approvals and permits from the appropriate agency as required. Approval of the manufacturer's drawings and calculations indicate that the manufacturer has correctly interpreted and applied the requirements of the contract drawings and specifications. (AISC 303-10 Code of Standard Practice)

Where discrepancies exist between the manufacturer's structural steel plans (Section 3.3 AISC 303-10 Code of Standard Practice) Design considerations of any materials in the structure which are not furnished by the manufacturer, are the responsibility of the contractor and engineer other than the manufacturer's engineering, unless specifically indicated. The contractor is responsible for all erection of steel and associated work in compliance with the manufacturer's "For Construction" drawings. Temporary supports, such as gyps, braces, flashwork, or other elements required for the erection will be determined and furnished and installed by the erector. (Section 7 AISC 303-10 Code of Standard Practice)

It is the contractor's responsibility to apply or observe all pertinent safety rules and regulations, as per OSHA standards as applicable. The Contractor is responsible for the verification of all shipments received. Any "external" damage or shortages must be noted on all copies of the bill of lading and one copy is to be retained for your records. Failure to do so will make it impossible for the factory to honor any claim. NO EXCEPTIONS!!!!

**OLYMPIA STEEL BUILDINGS**

**DESIGN LOADING**

This structure is designed utilizing the loads indicated and applied by the :  
IBC 2015

It is the contractor's responsibility to confirm that these loads comply with the requirements of the local building department. Specific loads : (See structural calculations and foundation reactions.)

- 20.00 PSF Live Load
- No. LL Reduction Allowed
- 30 PSF Ground Snow Load
- 1.00 Thermal Factor (Ct)
- 1 Snow Exposure Factor (Ce)
- 115 MPH Wind Load Exposure C (if applicable)
- 2.000 PSF Dead Load (Metal Bldg. Weight - Purlins, Panels, Etc.)
- 1 PSF Collateral Load (Ceilings, Sprinklers, Etc.)
- II - Normal Risk Category I<sub>s</sub> 1.00 I<sub>e</sub> 1.00

**SEISMIC DATA :**

- 1) Mapped Spectral Acceleration for Short Period, S<sub>s</sub> 0.10
- 2) Site Coefficient, F<sub>a</sub> 1.5000
- 3) Seismic Design Category = B
- 4) Seismic Coefficient = 0.11
- 5) Site Class = D
- 6) Basic Structural System and Seismic Resisting System  
Ordinary Moment Frame of Steel
- 7) Frames: R = 2.5000
- 8) Analysis Procedure = Equivalent Lateral Force.

**DRAWING INDEX**

- CS-1 Drawings Cover Sheet
- CS-2 Fastener Schedule
- E1 Anchor Bolt Plan
- E2 Anchor Bolt Details & Reactions
- E3 Rigid Frame Elevation
- E4 Sidewall Framing
- E5 Endwall Framing
- E6 Roof Framing Plan
- E7 Sidewall Sheeting
- E8 Endwall Sheeting
- E9 Detail Drawings
- E10 Detail Drawings
- E11 Trim Drawings

These Drawings are for :

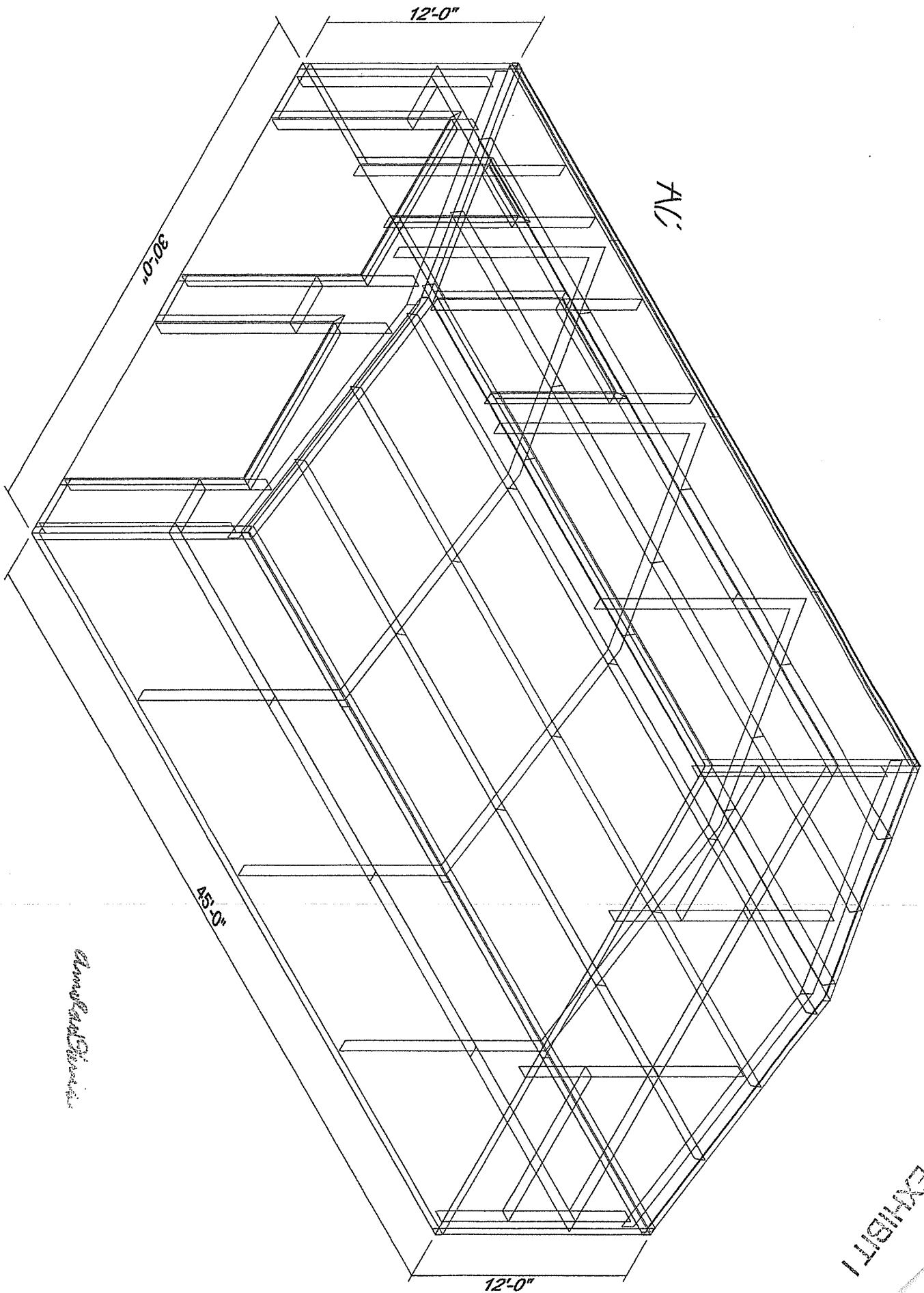
- Construction  Approval \*
- Permit  Anchor Bolts & Reactions

\* Approval orders must be released for fabrication within thirty (30) calendar days after the submittal drawings are issued or they will be subject to any current price increases. Special attention should be given in approving dimensions and/or details. Please verify requested dimensions by indicating "OK".

FBC product approval numbers: F-19864 & F-19866

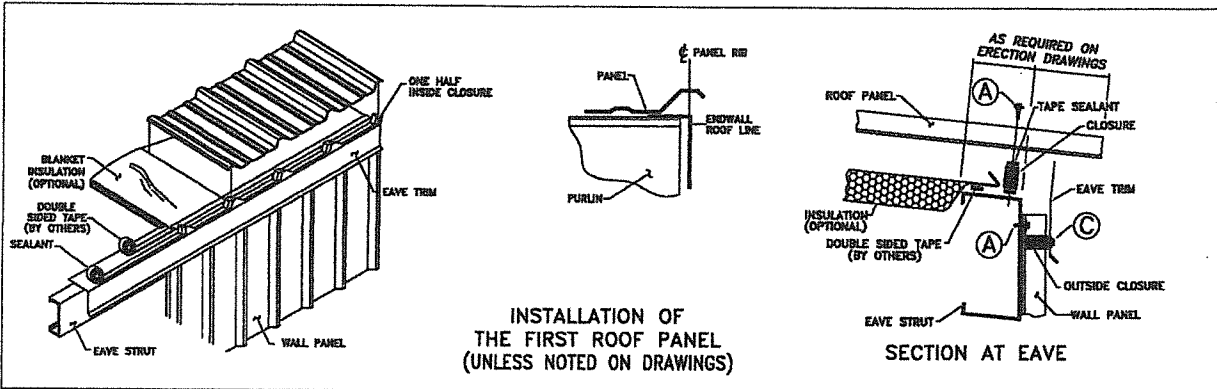
**DRAWINGS COVER SHEET**

DSN: MOZ	DWN: MO	REV:	CUSTOMER :
DET: NP	CHK: DP	NO. DATE	ALAN CARTER
		REVISIONS	6200 115TH ST, BLUE GRASS/1A/52726
			COUNTY : SCOTT COUNTY
			Olympia Steel Buildings
T & Z Consulting Services, LLC 1428 N Shevlin Court Sewickley, PA 15143			400 Island Avenue McKees Rocks, PA 15136
SCALE:	DATE:	JOB NO:	SHF. NO:
NOT TO SCALE	11/23/22	009351	CS-1

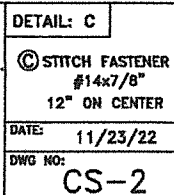
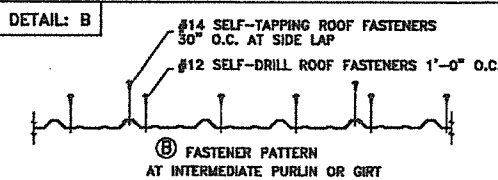
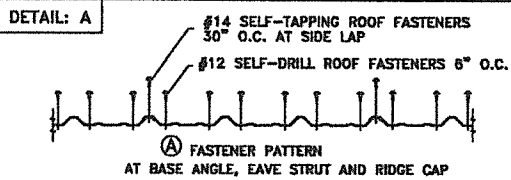
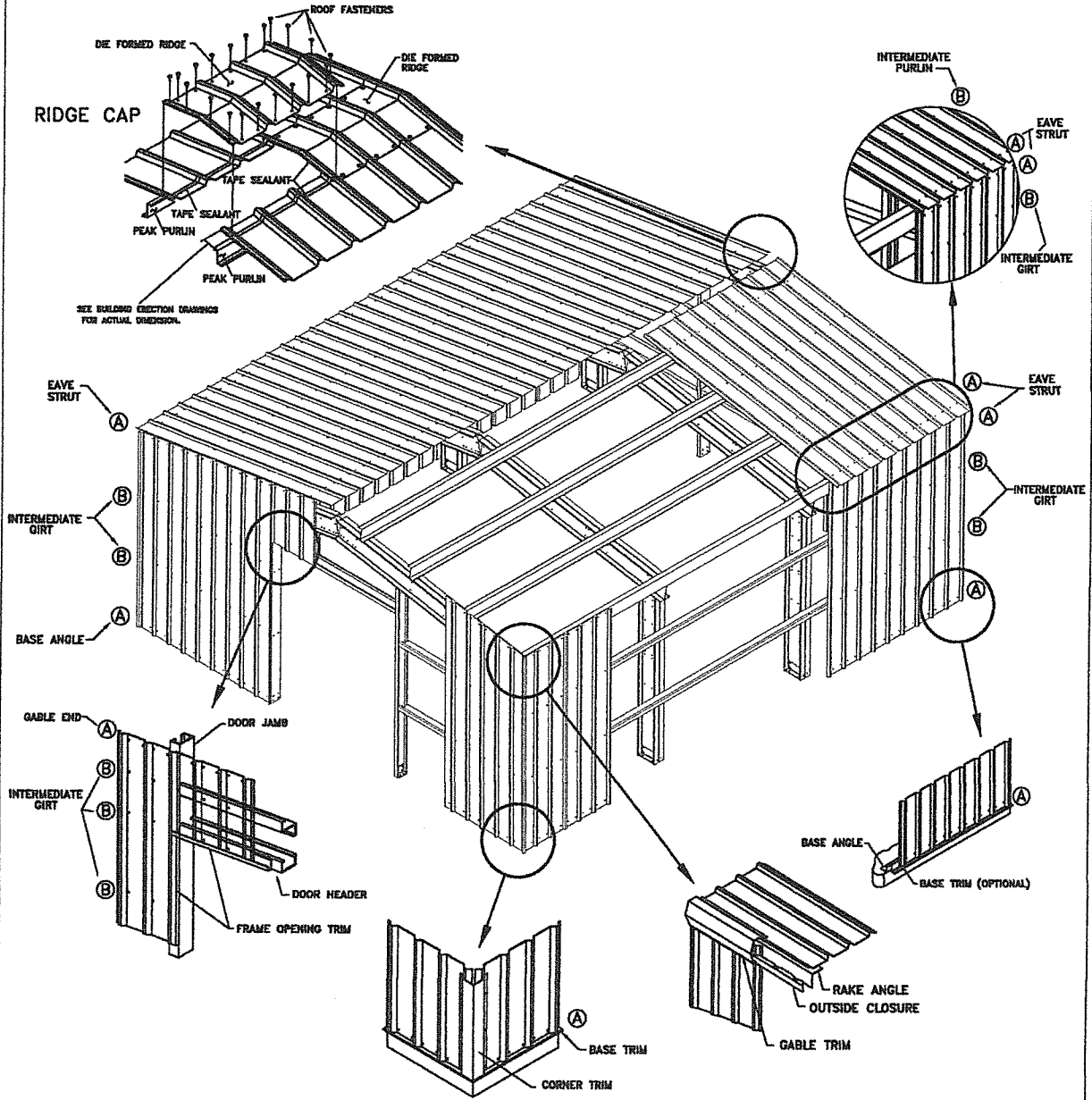


*Handwritten signature*

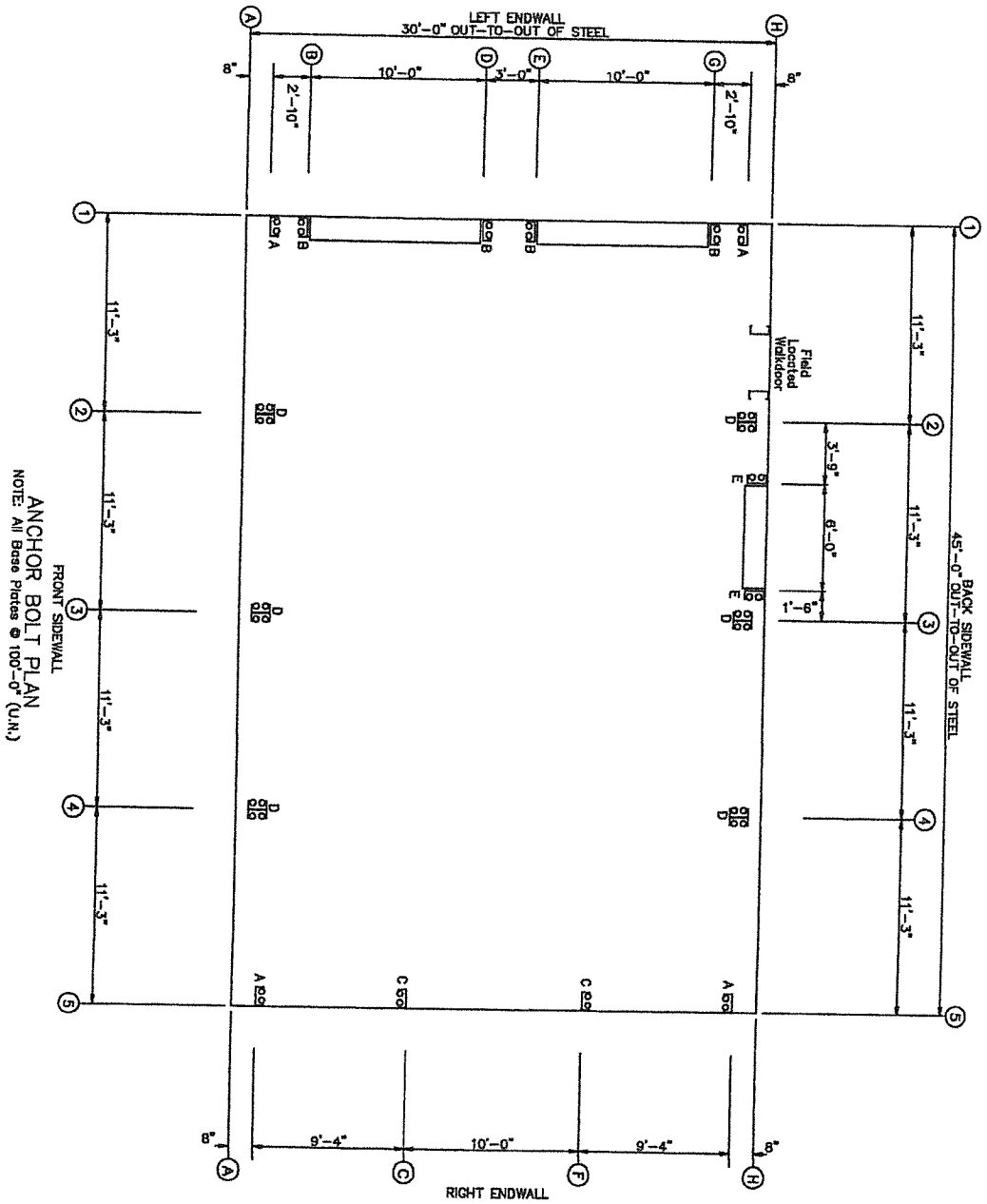
EXHIBIT 1



## FASTENER SCHEDULE

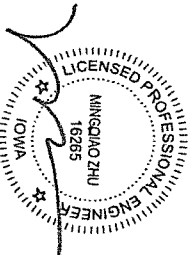




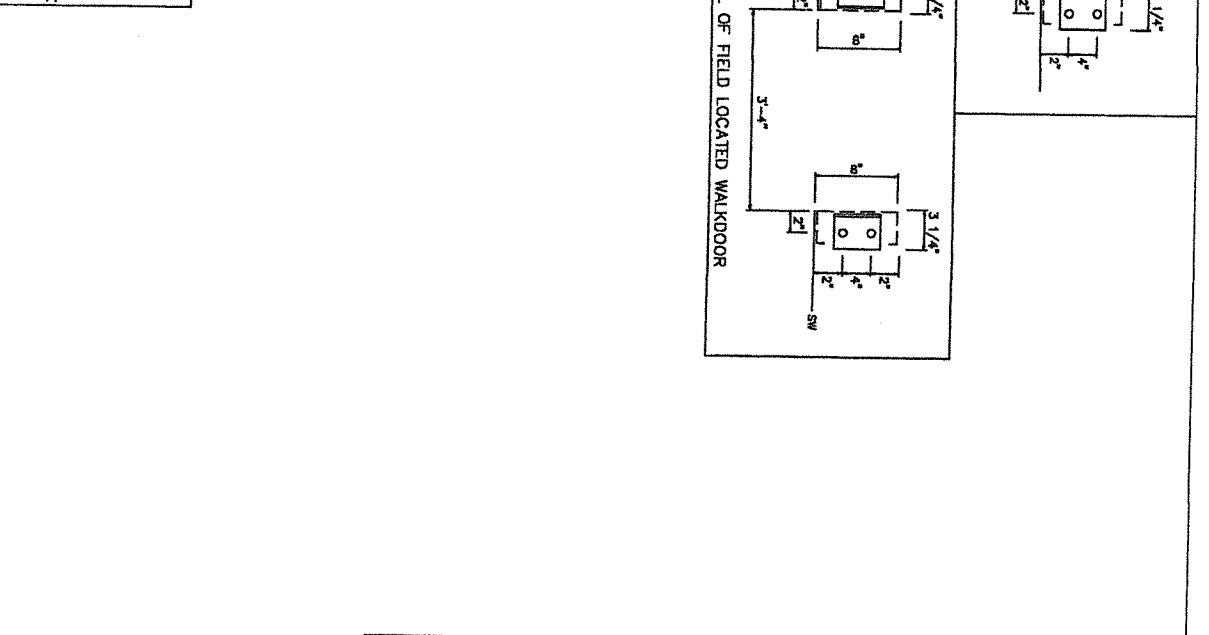
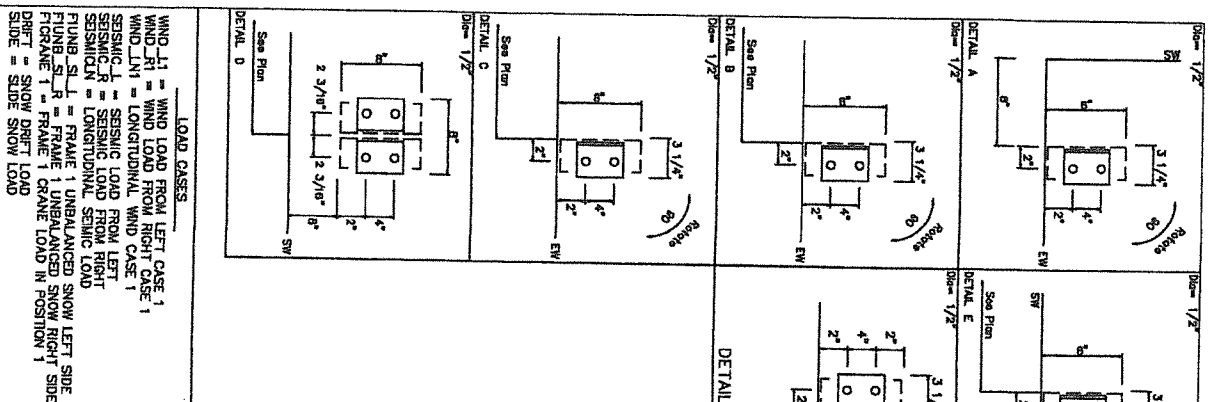


o Dia = 1/2"

OLYMPIA STEEL BUILDINGS	Customer: ALAN CARTER
HOCKEY ROCKS PA 15138	BLUE GRASS/IL/52728
Order# 140	Date: 11/23/22
Designer: HJZ	Date: 11/23/22
Detailer: JP	Date: 11/23/22
Checker: DP	Date: 11/23/22
Factory ID: 009351	Scale: Dr
SH E1 of 11	11/28/2022



E 104/11



**NOTES FOR REACTIONS**

Building reactions are based on the following:

- 1. REACTION REACTIONS ARE BASED ON THE FOLLOWING:
- 2. THE REACTION REACTIONS ARE BASED ON THE FOLLOWING:
- 3. THE REACTION REACTIONS ARE BASED ON THE FOLLOWING:
- 4. THE REACTION REACTIONS ARE BASED ON THE FOLLOWING:
- 5. THE REACTION REACTIONS ARE BASED ON THE FOLLOWING:
- 6. THE REACTION REACTIONS ARE BASED ON THE FOLLOWING:
- 7. THE REACTION REACTIONS ARE BASED ON THE FOLLOWING:
- 8. THE REACTION REACTIONS ARE BASED ON THE FOLLOWING:
- 9. THE REACTION REACTIONS ARE BASED ON THE FOLLOWING:
- 10. THE REACTION REACTIONS ARE BASED ON THE FOLLOWING:

**GENERAL NOTES**

1. REACTION REACTIONS ARE BASED ON THE FOLLOWING:
2. THE REACTION REACTIONS ARE BASED ON THE FOLLOWING:
3. THE REACTION REACTIONS ARE BASED ON THE FOLLOWING:
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8. THE REACTION REACTIONS ARE BASED ON THE FOLLOWING:
9. THE REACTION REACTIONS ARE BASED ON THE FOLLOWING:
10. THE REACTION REACTIONS ARE BASED ON THE FOLLOWING:

**BUILDING BRACING REACTIONS**

Dir	Col	Reac	Reac	Reac	Reac	Reac	Reac	Reac	Reac
1	1	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
2	2	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
3	3	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
4	4	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5	5	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
6	6	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
7	7	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
8	8	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
9	9	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
10	10	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

**ANCHOR BOLT DETAILS & REACTIONS**

Dir	Col	Reac	Reac	Reac	Reac	Reac	Reac	Reac	Reac
1	1	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
2	2	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
3	3	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
4	4	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5	5	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
6	6	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
7	7	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
8	8	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
9	9	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
10	10	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

**ANCHOR BOLT DETAILS & REACTIONS**

SH 02 of 11

OLYMPIA STEEL BUILDINGS  
 LOGGERS HOUSE PA 15138  
 Designer: JH Date: 11/23/22  
 Checker: JH Date: 11/23/22  
 Designer: JH Date: 11/23/22  
 Checker: JH Date: 11/23/22

Customer: ALAN CARTER  
 BLUE GRASS/W/3778  
 Designer: JH Date: 11/23/22  
 Checker: JH Date: 11/23/22

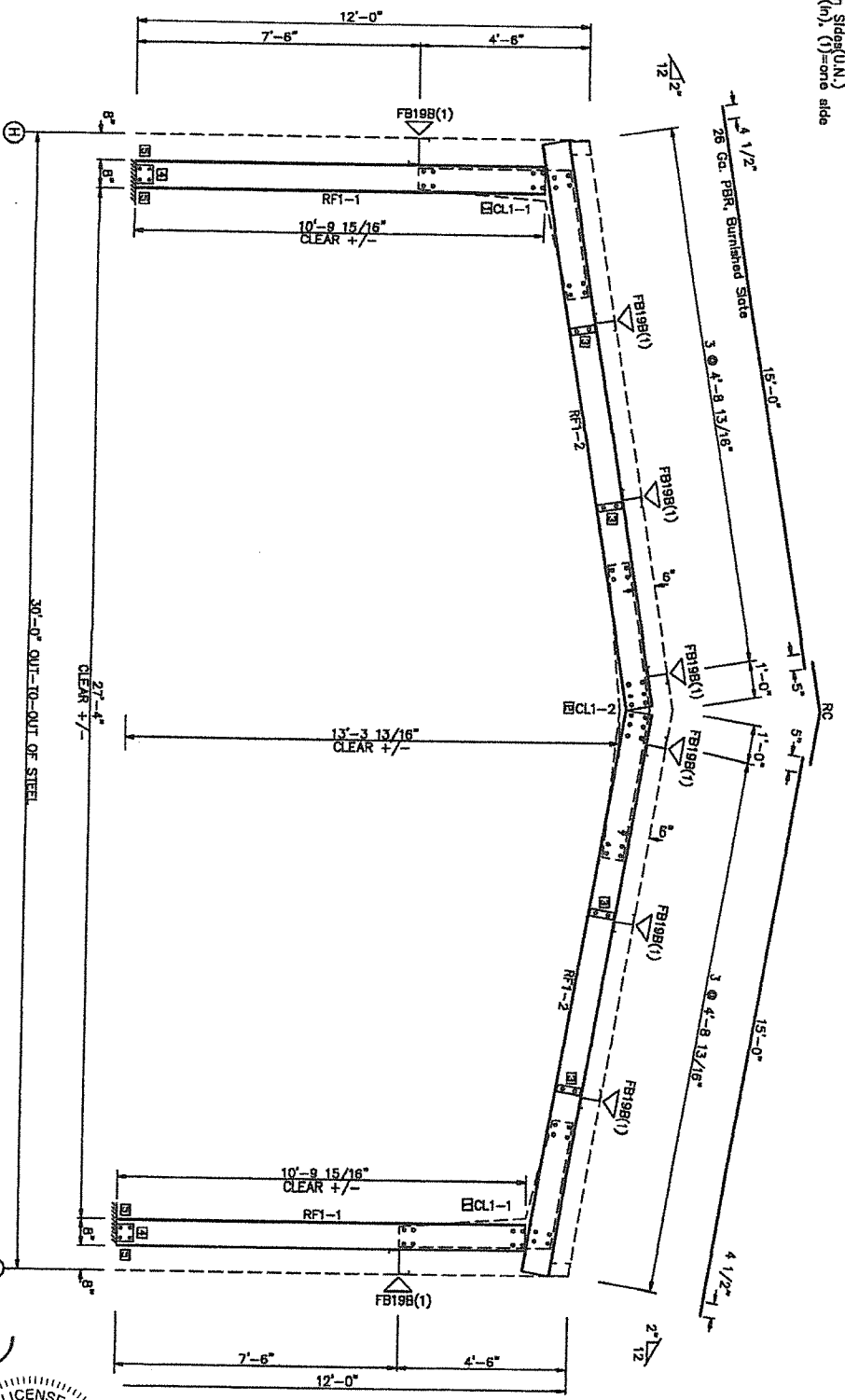
LICENSED PROFESSIONAL ENGINEER  
 MINGQIAO ZHU  
 16265  
 IOWA

11/28/2022

E 2 of 11

SPICE BOLT TABLE			
Mark	Qty	Top Bolt Int	Type Dia Length
CL1-1	8	0	A325 0.500 2.00
CL1-2	10	0	A325 0.500 2.00

▽ FLANGE BRACES: Both Sides(U.N.)  
 FB19B(1): 19=length(in), (1)=one side  
 B = LK2K109



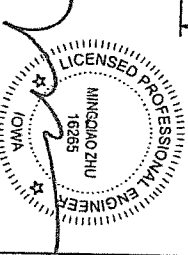
RIGID FRAME ELEVATION: FRAME LINE 2 3 4

GENERAL NOTES:  
 MINOR FIELD WORK OF STRUCTURAL SECONDARY  
 AND PANEL/ITEMS MAY BE NECESSARY  
 ENSURE PROPER FIT. SUCH WORK IS CONSIDERED  
 A NORMAL PART OF METAL BUILDING ERECTION.  
 WE WILL NOT HONOR BACKCHARGES FOR MINOR  
 FIELD WORK.

MEMBER SIZE TABLE		
MARK	MEMBER	LENGTH
RF1-1	8x75D14	10'-11 1/8"
RF1-2	8x75D14	18'-1 1/8"

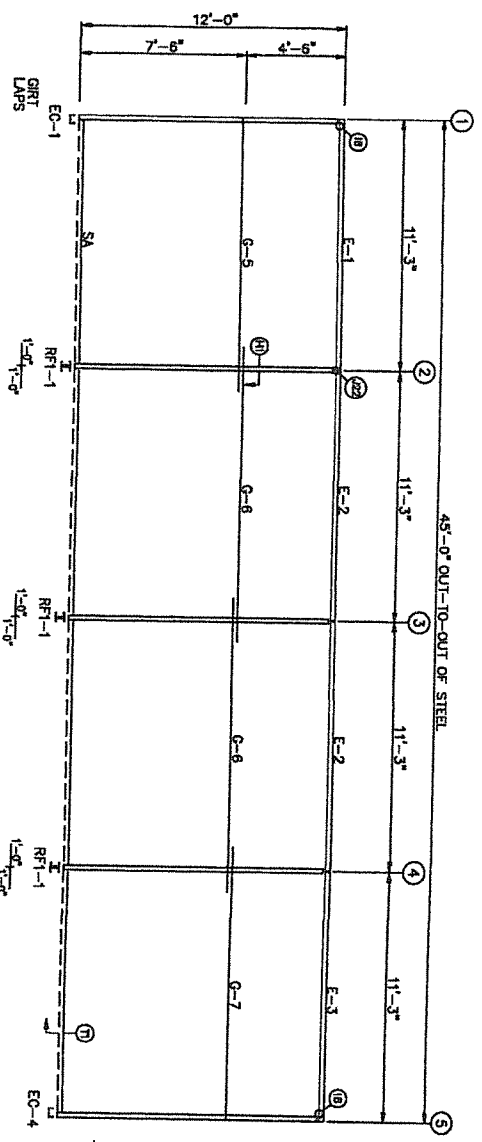
CONNECTION PLATES	
ID	MARK/Part
1	CL1-1
2	CL1-2
3	CL1-07
4	CL1-06
5	CL1-09

OLYMPIA STEEL BUILDINGS		Customer: ALAM CARTER	
NICHOLS ROOFS PA 15138		BLUE GRASS JV/52726	
Orderer NO	Date: 11/23/22	Designer: IQZ	Date: 11/23/22
Checker: HP	Date: 11/23/22	Sales ID:	009351
Checker: GP	Date: 11/23/22		

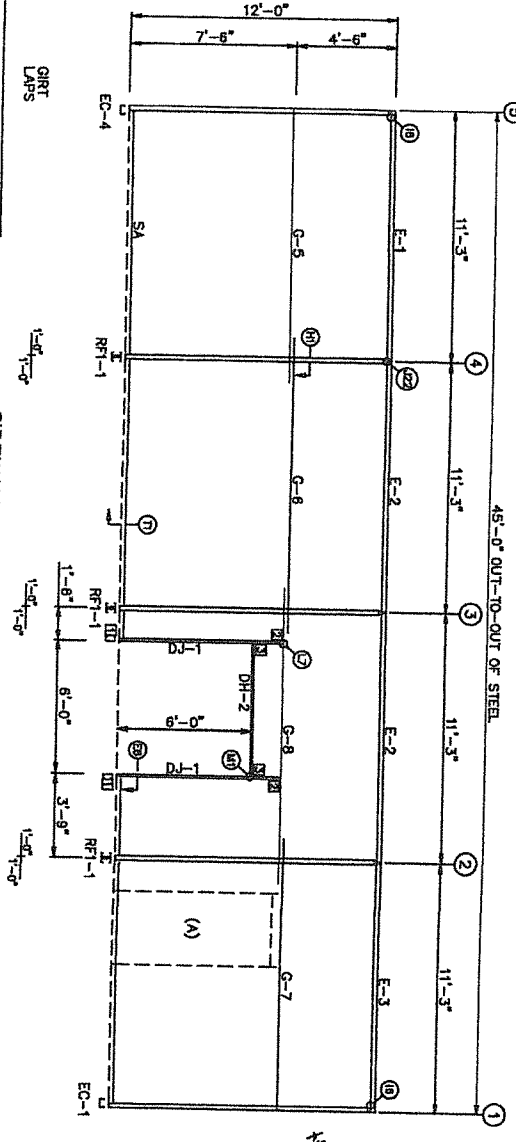


E 3 of 11





SIDEWALL FRAMING: FRAME LINE A



SIDEWALL FRAMING: FRAME LINE H

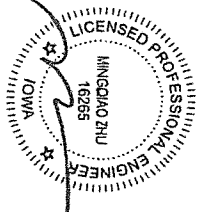
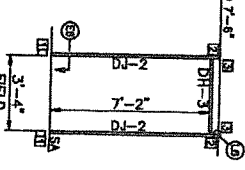
GENERAL NOTES:  
 MINOR FIELD WORK OF STRUCTURAL SECONDARY AND PANEL/TRIM ITEMS MAY BE NECESSARY TO ENSURE PROPER FIT. SUCH WORK IS CONSIDERED A NORMAL PART OF METAL BUILDING ERECTION. WE WILL NOT HONOR BACKCHARGES FOR MINOR FIELD WORK.

MEMBER TABLE

FRAME LINE A & H	MEMBER	LENGTH
EC-1	8x25x16	7'-1 1/2"
EC-2	8x25x16	5'-11 1/2"
EC-3	8x25x16	3'-3 1/2"
EC-4	8x25x16	11'-2 1/2"
E-1	8x35x4x16	11'-2 1/2"
E-2	8x35x4x16	12'-2 1/2"
E-3	8x25x16	12'-2 1/2"
G-5	8x25x16	12'-2 1/2"
G-6	8x25x16	12'-2 1/2"
G-7	8x25x16	12'-2 1/2"
RFT-1	8x25x16	12'-2 1/2"
SA	8x25x16	12'-2 1/2"

CONNECTION PLATES

FRAME LINE A & H	PLATE	LENGTH
EC-1	1/4" C0008	12'-2 1/2"
EC-2	1/4" C0008	12'-2 1/2"
EC-3	1/4" C0008	12'-2 1/2"
EC-4	1/4" C0008	12'-2 1/2"
E-1	1/4" C0008	12'-2 1/2"
E-2	1/4" C0008	12'-2 1/2"
E-3	1/4" C0008	12'-2 1/2"
G-5	1/4" C0008	12'-2 1/2"
G-6	1/4" C0008	12'-2 1/2"
G-7	1/4" C0008	12'-2 1/2"
RFT-1	1/4" C0008	12'-2 1/2"
SA	1/4" C0008	12'-2 1/2"



OXFORD STEEL BUILDINGS	Customer: ALAN CARTER
LOCKES ROCKS PA 15136	11/28/2022
Order: 40	Date: 11/23/22
Designer: NP	Date: 11/23/22
Checker: DP	Date: 11/23/22
	Scale: 1/2"
	Factory ID: 009351
	SH E4 of 11

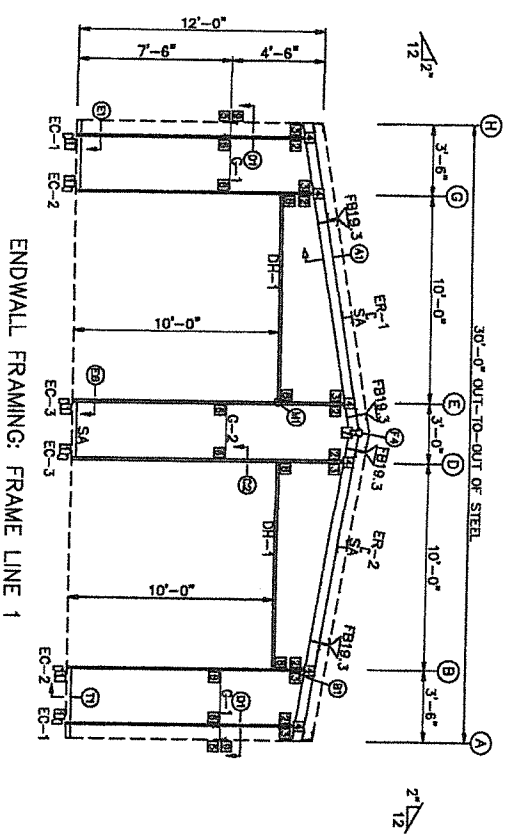
E 4 of 11

BOIT TABLE			
FRAME LINE	LOCATION	QUAN	TYPE
ER-1/ER-2	4	A325	1/2"
ER-3/ER-4	4	A325	1/2"
Column/Red	8	A325	1/2"

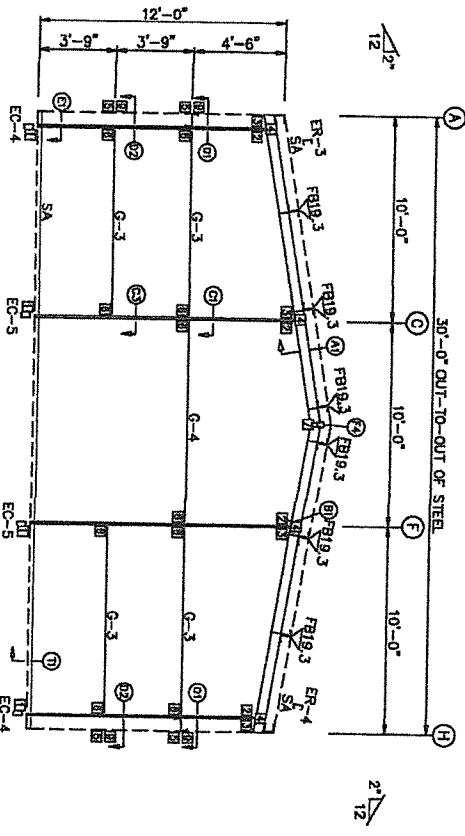
MEMBER TABLE			
FRAME LINE	PART	LENGTH	TYPE
ER-1	8x275C16	10'-0"	1/8"
ER-2	8x275C16	11'-3"	1/8"
ER-3	8x275C16	12'-11"	1/8"
ER-4	8x275C16	10'-10"	1/8"
ER-5	8x275C16	12'-11"	1/8"
ER-1	8x275C16	15'-11"	1/8"
ER-2	8x275C16	15'-11"	1/8"
ER-3	8x275C16	15'-11"	1/8"
ER-4	8x275C16	15'-11"	1/8"
ER-5	8x275C16	15'-11"	1/8"
DH-1	4x252T18	2'-11"	1/2"
C-1	4x252T18	2'-3"	3/4"
C-2	4x252T18	2'-3"	3/4"
C-3	4x252T18	8'-7"	3/4"
C-4	4x252T18	9'-11"	3/4"

FLANGE BRACE TABLE			
FRAME LINE	PART	LENGTH	TYPE
ER-1	10	10	1/2"
ER-2	10	10	1/2"
ER-3	10	10	1/2"
ER-4	10	10	1/2"
ER-5	10	10	1/2"

CONNECTION PLATES			
FRAME LINE	PART	LENGTH	TYPE
ER-1	1	10	1/2"
ER-2	1	10	1/2"
ER-3	1	10	1/2"
ER-4	1	10	1/2"
ER-5	1	10	1/2"



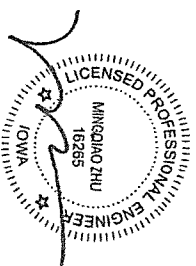
ENDWALL FRAMING: FRAME LINE 1



ENDWALL FRAMING: FRAME LINE 5

GENERAL NOTES:  
 MINOR FIELD WORK OF STRUCTURAL SECONDARY AND PANEL/TRIM ITEMS MAY BE NECESSARY TO ENSURE PROPER FIT. SUCH WORK IS CONSIDERED A NORMAL PART OF METAL BUILDING ERECTION. WE WILL NOT HONOR BACKCHARGES FOR MINOR FIELD WORK.

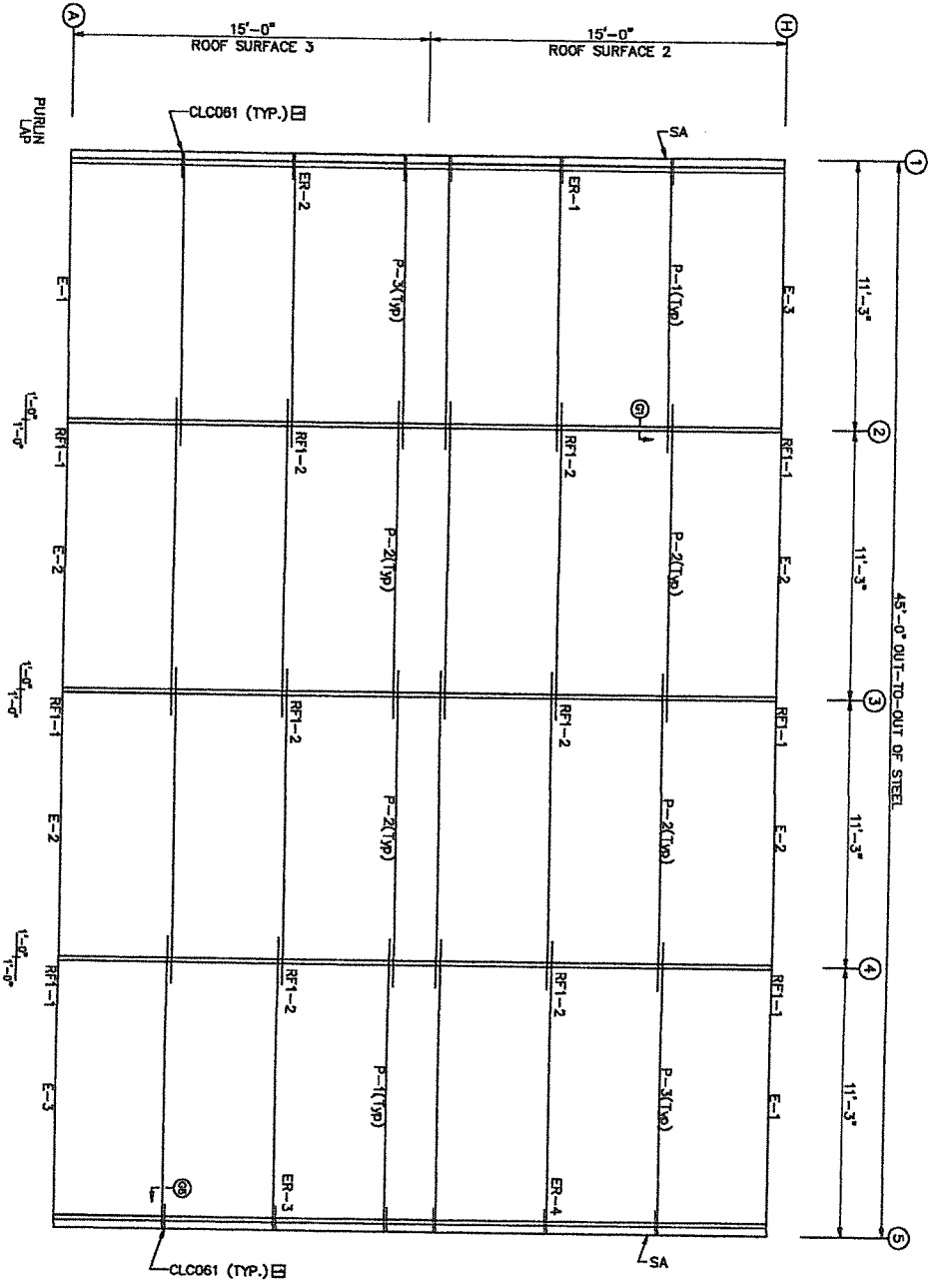
OLYMPIA STEEL BUILDINGS		Customer: ALAN CARTER	
16285	16285	DATE: 11/23/22	DATE: 11/23/22
11/23/22	11/23/22	DATE: 11/23/22	DATE: 11/23/22
11/23/22	11/23/22	DATE: 11/23/22	DATE: 11/23/22
11/23/22	11/23/22	DATE: 11/23/22	DATE: 11/23/22
11/23/22	11/23/22	DATE: 11/23/22	DATE: 11/23/22



E5/11

**GENERAL NOTES:**  
 MINOR FIELD WORK OF STRUCTURAL, SECONDARY  
 AND PANEL/TRIM ITEMS SHALL BE NECESSARY TO  
 ENSURE PROPER FIT SUCH WORK SHALL BE CONSIDERED  
 A NORMAL PART OF METAL BUILDING ERECTOR  
 FIELD WORK. WE WILL NOT HONOR BACKCHARGES FOR MINOR  
 FIELD WORK.

**ROOF FRAMING PLAN**



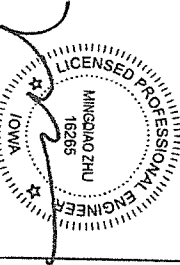
**MEMBER TABLE**

MEMBER	SECTION	LENGTH	THICKNESS
P-1	6x35x18	15'-0"	1/2"
P-2	6x25x18	15'-0"	1/2"
P-3	6x25x18	15'-0"	1/2"
ER-1	6x35x18	11'-3"	1/2"
ER-2	6x35x18	11'-3"	1/2"
ER-3	6x35x18	11'-3"	1/2"
ER-4	6x35x18	11'-3"	1/2"

**CONNECTION PLATES**

CONNECTION	PLATE SIZE	THICKNESS
CLC061	1/2" x 6"	1/2"
SA	1/2" x 6"	1/2"

**ROOF SHEETING**  
 PANELS: 28 Ga. PBR  
 Burmished Stone

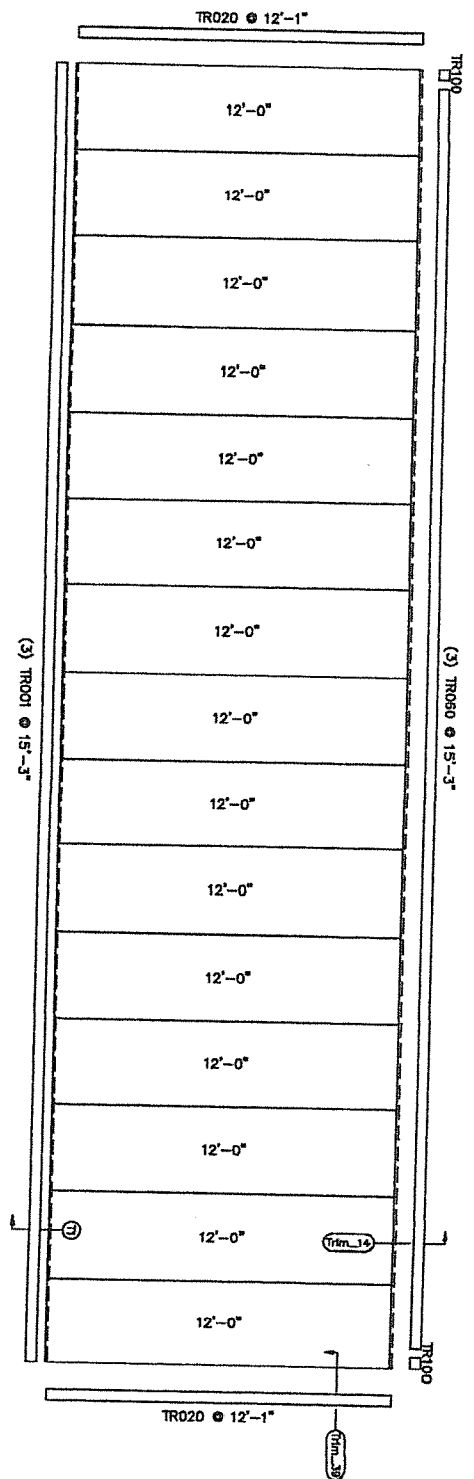


**GLYNDA STEEL BUILDINGS**

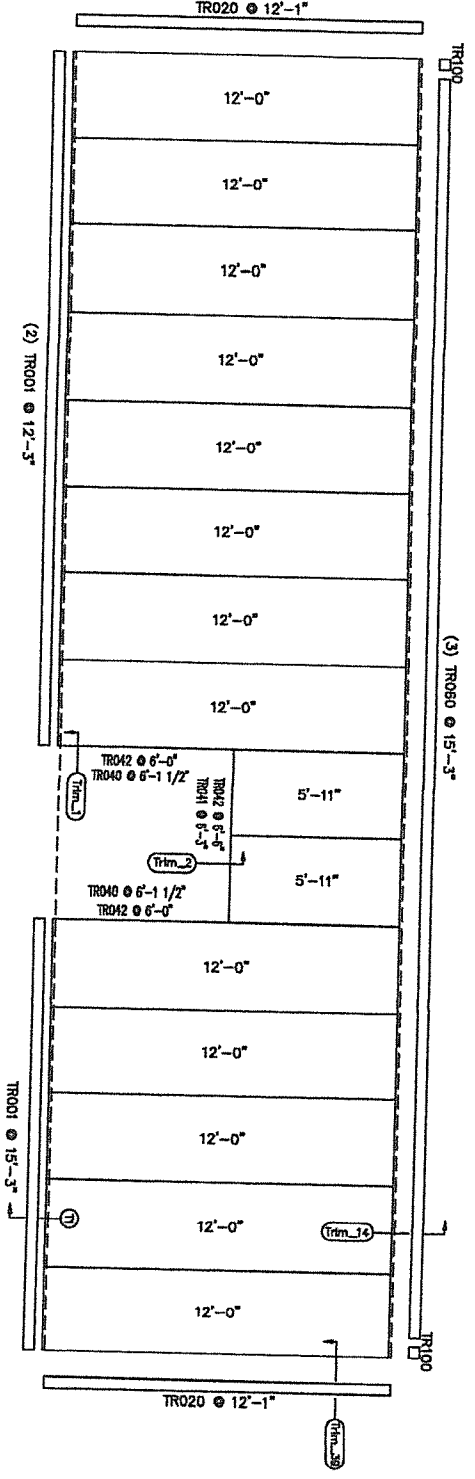
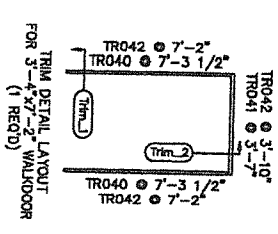
Customer: ALAN CARTER	11/29/2022
Address: 15138	BLUE GRASS/JV/52726
Drafting: MO	Date: 11/23/22
Designer: JGZ	Date: 11/23/22
Checker: JP	Date: 11/23/22
Checker: JP	Date: 11/23/22
Scale: 1/8" = 1'-0"	Sheet ID: 009351

EG 05 11





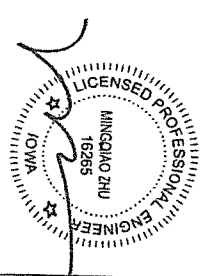
SIDEWALL SHEETING & TRIM: FRAME LINE A  
 PANELS: 26 Ga. PBR - Burnished State



SIDEWALL SHEETING & TRIM: FRAME LINE H  
 PANELS: 26 Ga. PBR - Burnished State

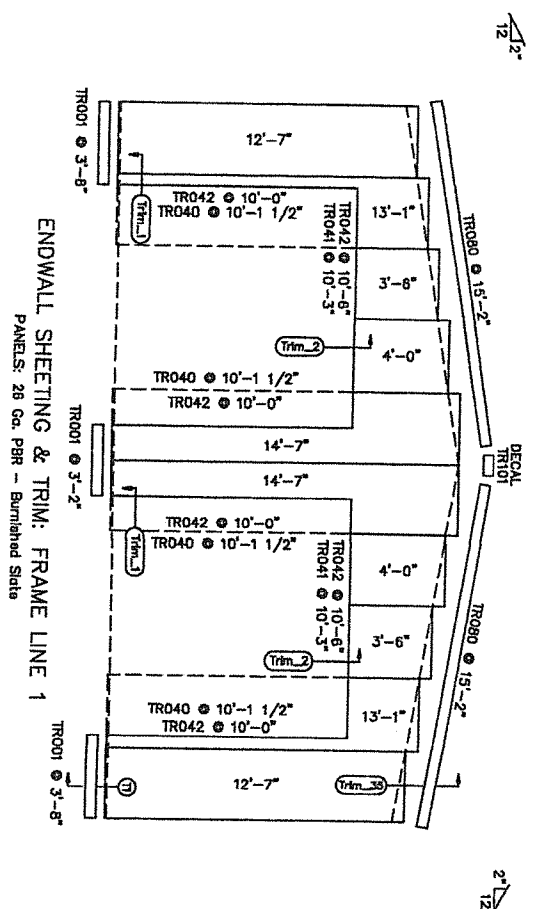
GENERAL NOTES:  
 MINOR FIELD WORK OF STRUCTURAL SECONDARY AND PANEL/TRIM ITEMS MAY BE NECESSARY TO ENSURE PROPER FIT. SUCH WORK IS CONSIDERED A NORMAL PART OF METAL BUILDING ERECTION. WE WILL NOT HONOR BACKCHARGES FOR MINOR FIELD WORK.

OLYMPIA STEEL BUILDINGS		11/28/2022	
LICKES ROCKS PA 15136	BLAKE GRASS AU/5/17/20		
Order: MO	Date: 11/23/22	Designer: HQZ	Date: 11/23/22
Order: HP	Date: 11/23/22	Sales ID:	0093551
Checker: DP	Date: 11/23/22		

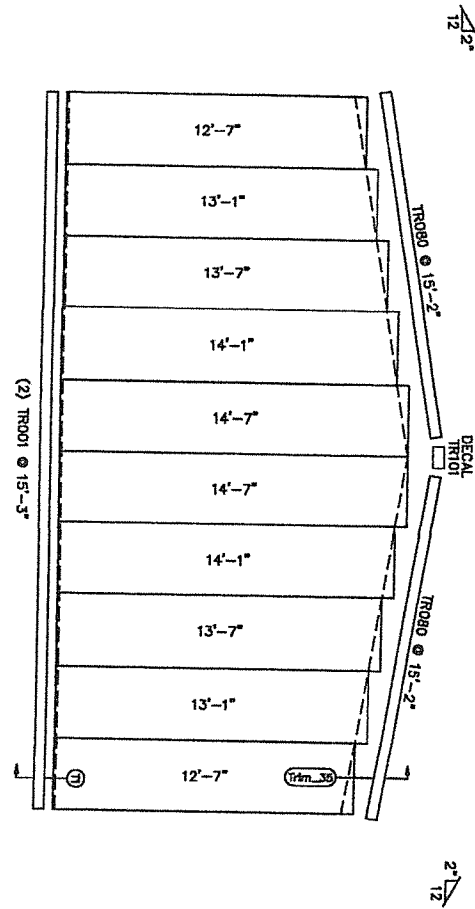


E 7 of 11

**GENERAL NOTES:**  
 MINOR FIELD WORK OF STRUCTURAL, SECONDARY AND PANEL/TRIM ITEMS MAY BE NECESSARY TO ENSURE PROPER FIT. SUCH WORK IS CONSIDERED A NORMAL PART OF METAL BUILDING ERECTION. WE WILL NOT HONOR BACKCHARGES FOR MINOR FIELD WORK.

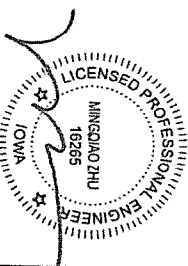


**ENDWALL SHEETING & TRIM: FRAME LINE 1**  
 PANELS: 26 Ga. PBR - Burnished Slate



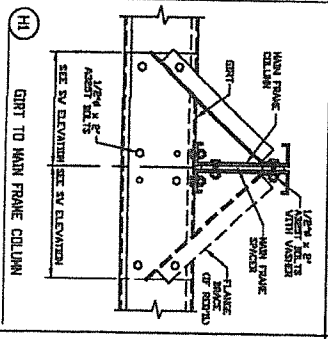
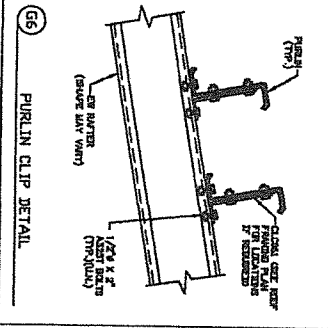
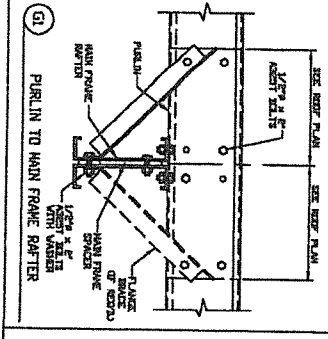
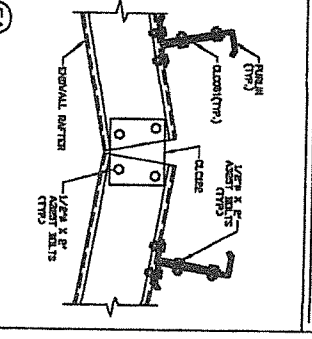
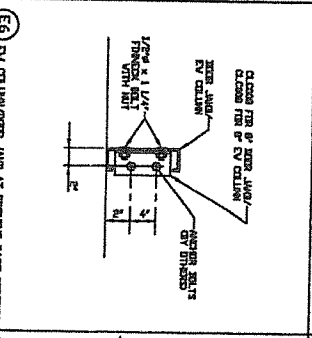
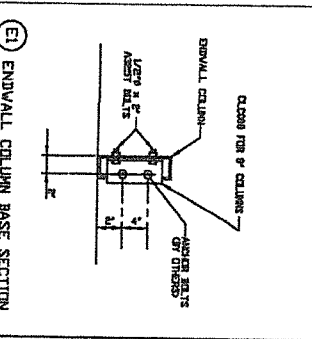
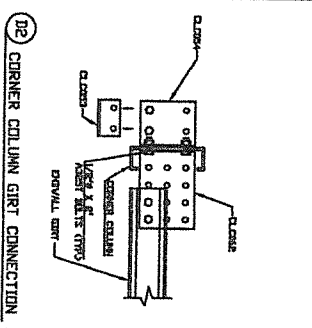
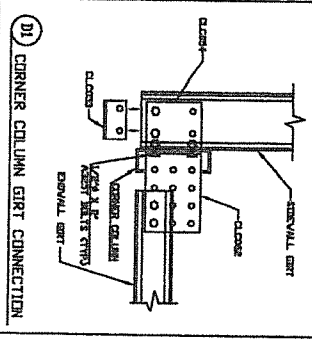
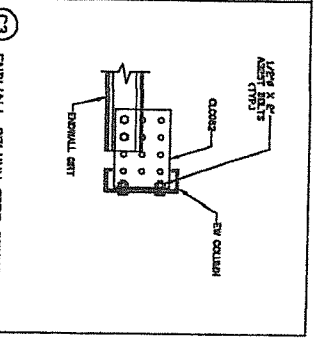
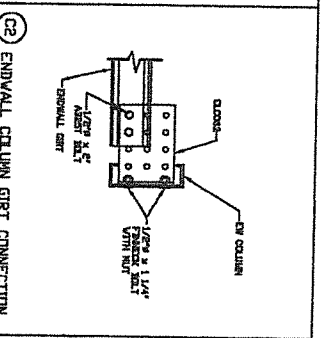
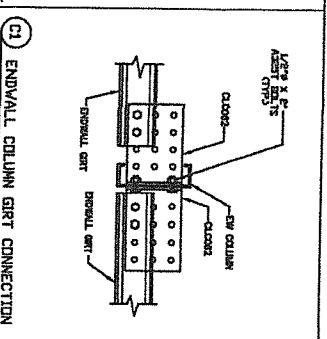
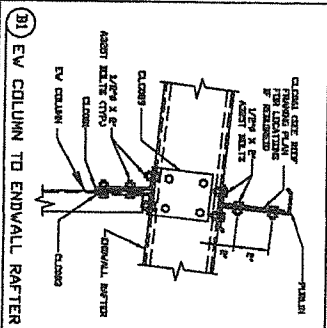
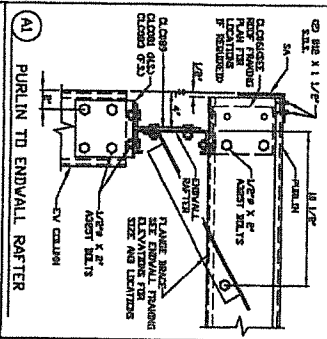
**ENDWALL SHEETING & TRIM: FRAME LINE 5**  
 PANELS: 26 Ga. PBR - Burnished Slate

OLYPIA STEEL BUILDINGS		Customer: ALAN CARTER	
Locke's Hooks PA 15136	Date: 11/23/22	BLUE GRASS/IV/58728	Date: 11/23/22
Draftsman: JH	Date: 11/23/22	Designer: JGZ	Date: 11/23/22
Draftsman: JH	Date: 11/23/22	Sales ID:	Factory ID:
Checker: DP	Date: 11/23/22		0093551

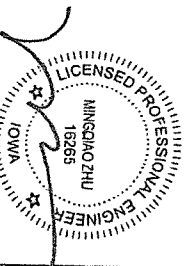


EG of 11

ENDWALL SHEETING SH EB of 11

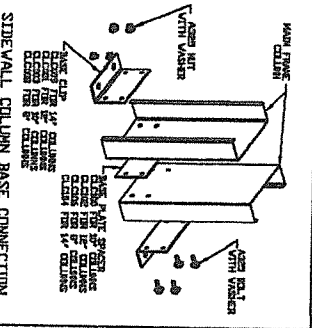
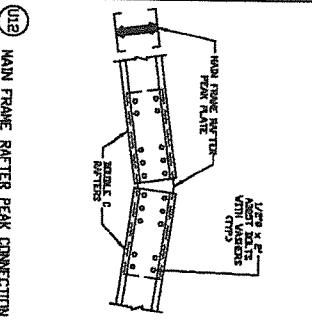
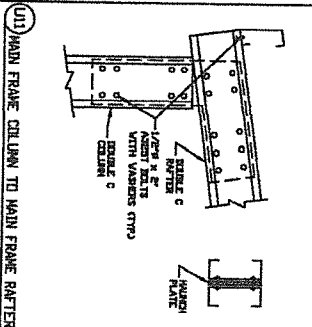
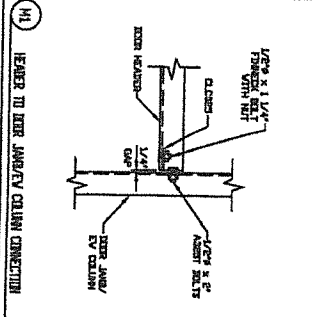
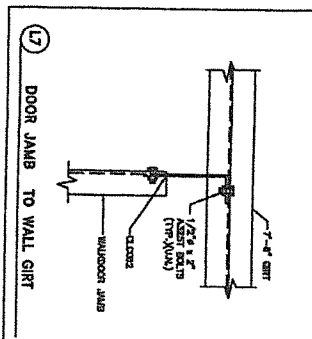
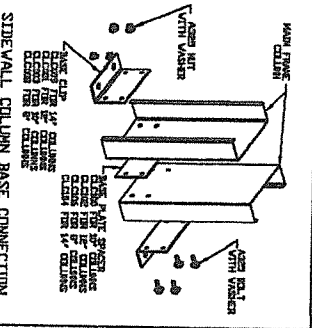
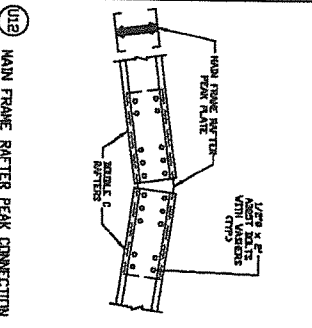
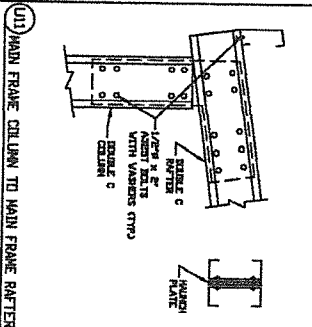
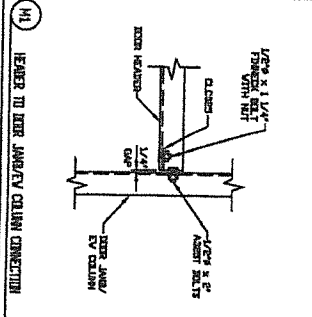
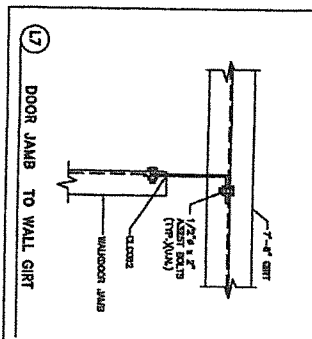
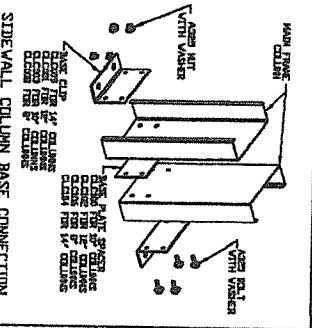
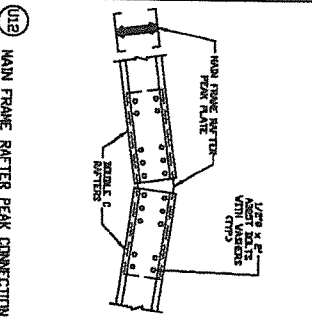
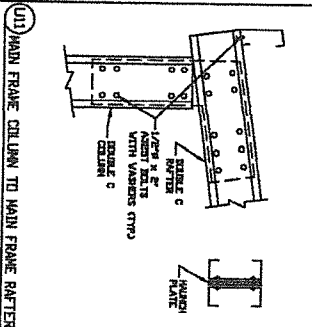
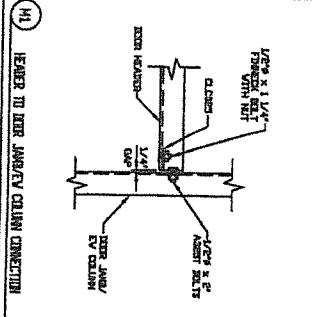
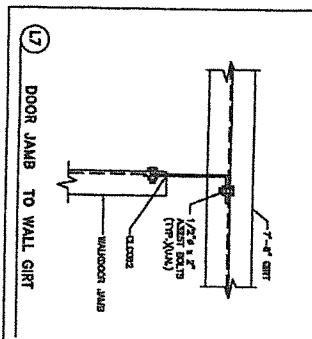
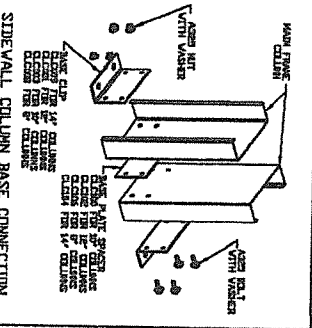
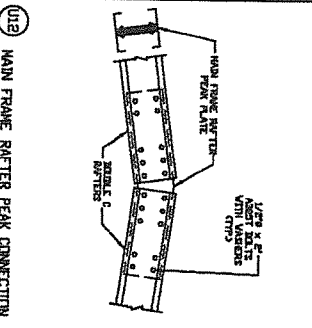
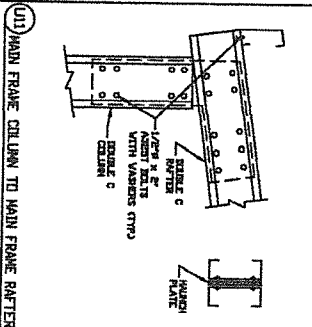
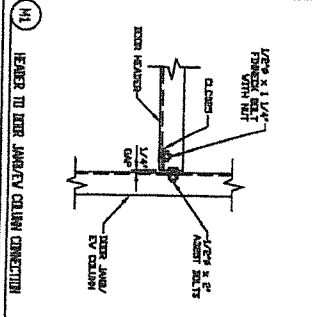
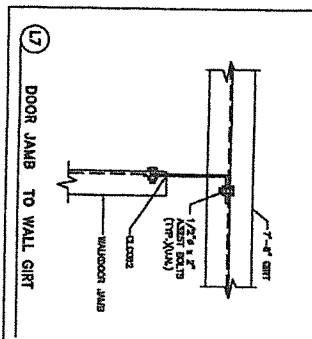
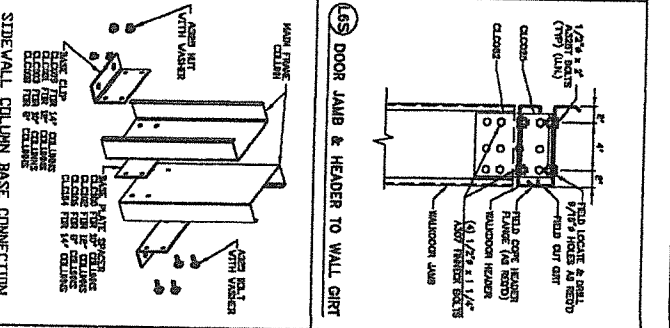
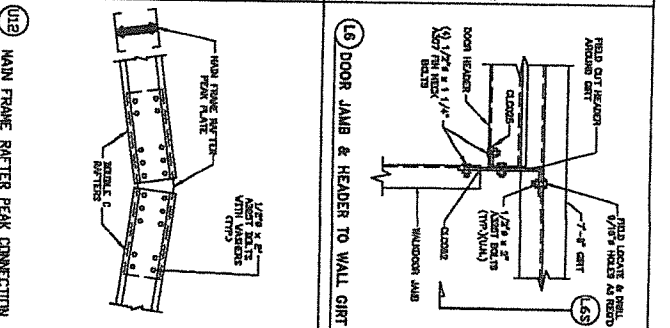
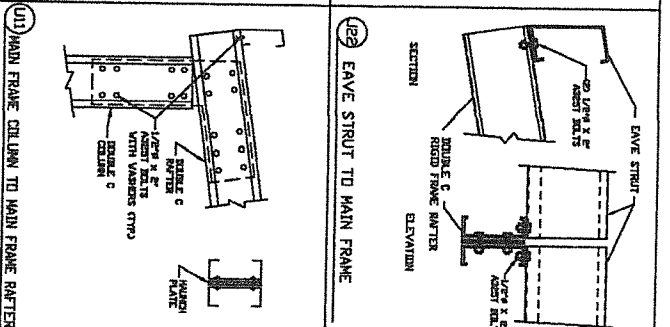
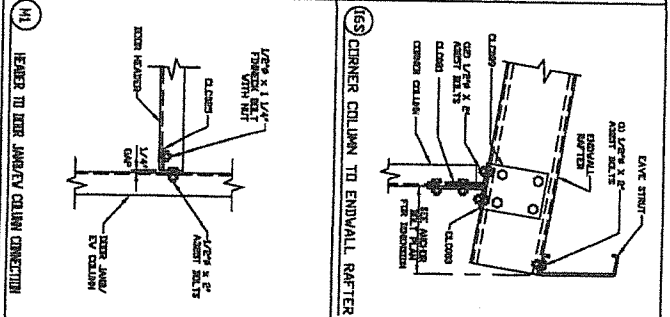
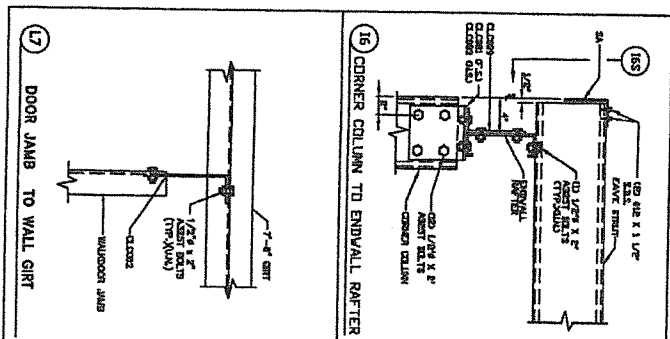


<p>11/28/2022</p> <p>OLYMPIA STEEL BUILDINGS</p> <p>CUSTOMER: ALAN CARTER</p> <p>1600 ROCKS PA 15136</p> <p>BLUE GRASS JV/52726</p> <p>Drawn: MO Date: 11/23/22 Design: IQZ Date: 11/23/22</p> <p>Check: JP Date: 11/23/22 Scale: 1/8" = 1'-0" Fabric: IQZ Date: 11/23/22</p> <p>Checker: JP Date: 11/23/22</p>	
<p>DETAIL DRAWINGS</p>	
<p>SM</p>	<p>ED of 11</p>

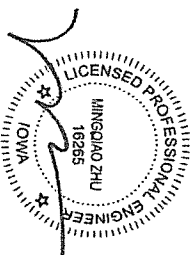


E 9 of 11

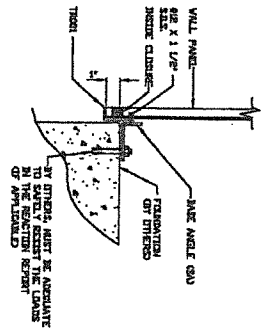




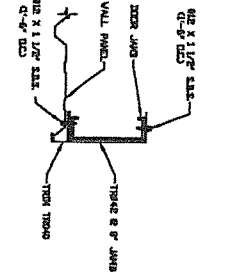
OLYMPIA STEEL BUILDINGS	Customer: ALAM CARTER
ROCKERS ROCKS PA 15138	BLUE GRASS/AV/52726
Draftsman: MO	Date: 11/23/22
Designer: JP	Date: 11/23/22
Checker: DP	Date: 11/23/22
11/28/2022	
	Sheet ID: 008351
	Factory No: 008351
	SM E10 of 11



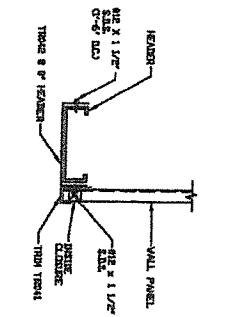
E 10 of 11



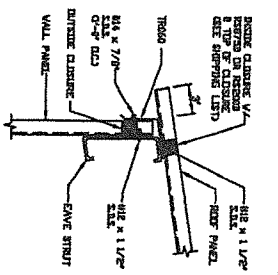
11 BASE TRIM SECTION



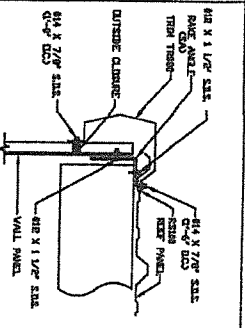
Trim\_1 DOOR JAMB TRIM



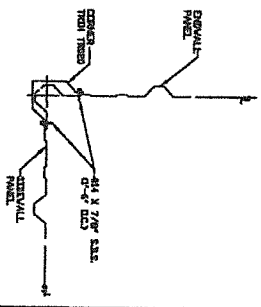
Trim\_2 HEADER TRIM



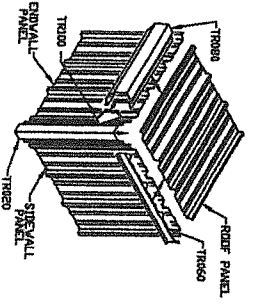
Trim\_14 EAVE TRIM SECTION



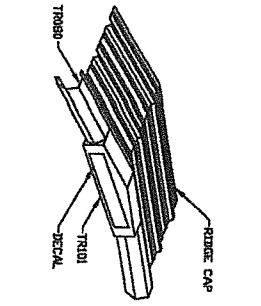
Trim\_35 RAKE TRIM SECTION



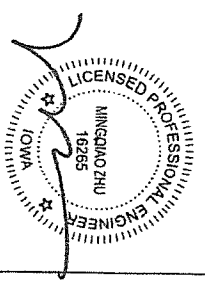
Trim\_39 CORNER TRIM SECTION



BUILDING CORNER DETAIL



PEAK DETAIL



OLYMPIA STEEL BUILDINGS	Customer: ALAN CARTER
LICKERS ROOFS PA 15138	BLUE GRASS/IV/23/22
Order: MO Date:11/23/22	Designer:HQZ Date:11/23/22
Detailer: NP Date:11/23/22	Scale: 1/8"
Checker: DP Date:11/23/22	Project ID: 009351
11/28/2022	
TRIM DRAWINGS	
SH E11 of 11	

E 11 of 11