



**SCOTT COUNTY
PLANNING AND ZONING COMMISSION
AGENDA
Tuesday, April 2, 2024
5:30 P.M.**

1. **Call to Order**
2. **Approval of Minutes:** Approval of the March 5, 2024 meeting minutes.
3. **Public Hearing, Preliminary Plat – Major Subdivision:** Review of a major subdivision known as “The Reserve,” submitted by **Windmill Development, LLC**. The submitted Preliminary Plat would create twelve (12) development lots and two (2) outlots from an approximately 22.75-acre tract in Part of the NW ¼ of Section 8 and Part of the NE ¼ of Section 7 of Pleasant Valley Township.
4. **Public Meeting, Site Plan Review:** Application from **Taylor Ridge Paving** for approval of a site plan to establish a contractor office at the property legally described as Part of the NW ¼ of the NW ¼ of Section 1 of Buffalo Township.
5. **Old Business**
6. **Zoning Administrator’s Report**
7. **Public Comment**
8. **Adjournment**

Public Hearing/Meeting Procedure

- a. Chairman reads public notice of hearing.
- b. Director reviews background of request.
- c. Applicant /Representative provide any additional comments on request.
- d. Public may make comments or ask questions.
- e. Director makes staff recommendation.
- f. Applicant may respond or comment.
- g. Commission members may ask questions.
- h. Chairman closes the public portion of the hearing (No more public comments).
- i. Discussion period for the Commission members.
- j. Commission members make motion to approve, deny, or modify request.
- k. Final vote. Recommendation goes to Board of Supervisors.

PLANNING & DEVELOPMENT

600 West Fourth Street

Davenport, Iowa 52801-1106

Office: (563) 326-8643 Fax: (563) 326-8257

Email: planning@scottcountyiowa.com



**NOTICE OF PLANNING AND ZONING COMMISSION
PUBLIC HEARING FOR THE REVIEW OF A
PRELIMINARY PLAT OF A MAJOR SUBDIVISION**

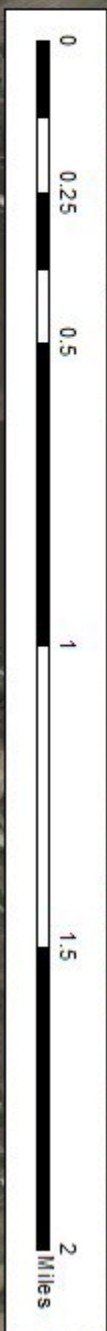
Public Notice is hereby given as required by Section 9-16 of the County Code (Subdivisions), that the Scott County Planning and Zoning Commission will hold a public hearing to review a Preliminary Plat of a major subdivision at a public meeting on **Tuesday, April 2, 2024 at 5:30 PM**. The meeting will be held in **Meeting Room A/B of the Scott County Library – Eldridge Branch, 200 North 6th Street, Eldridge, Iowa 52748**.

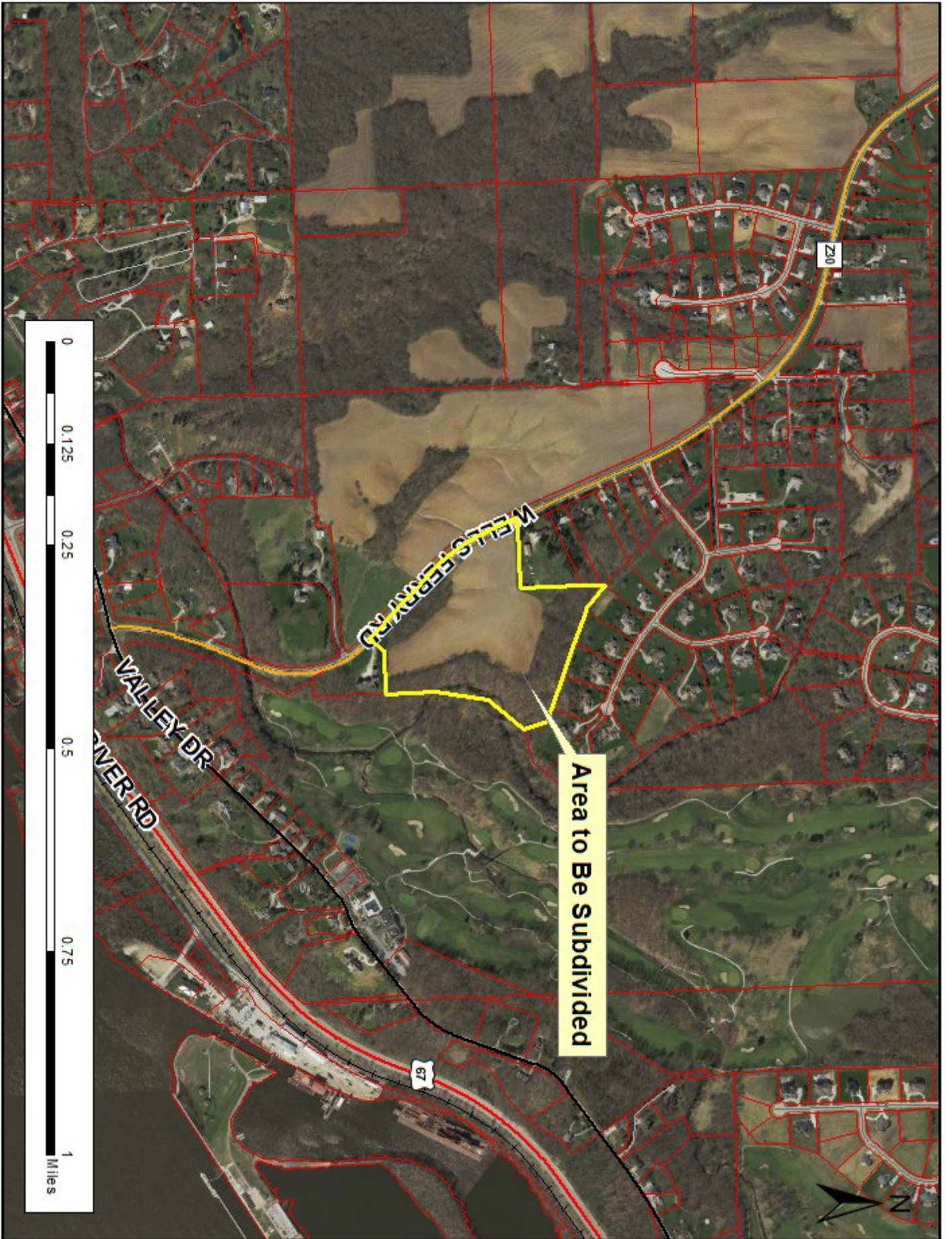
The Planning and Zoning Commission will hear a proposal from **Windmill Development, LLC** for a major subdivision known as “The Reserve,” to create twelve (12) development lots and two (2) outlots from an approximately 22.75-acre tract in Part of the NW ¼ of Section 8 and Part of the NE ¼ of Section 7 of Pleasant Valley Township. A copy of the proposed plat is on the reverse side of this notice and can be viewed in the meeting folder on the Planning and Development webpage: <https://www.scottcountyiowa.gov/planning/planning-zoning-commission/meetings>.

If you have any questions or comments regarding this meeting or proposal, please call or write the Planning and Development Department, Scott County Administrative Center, 600 West Fourth Street, Davenport, Iowa 52801, (563) 326-8643, or attend the meeting.



Area to Be Subdivided





WELLS HEDDY LN

VALLEY DR

RIVER RD

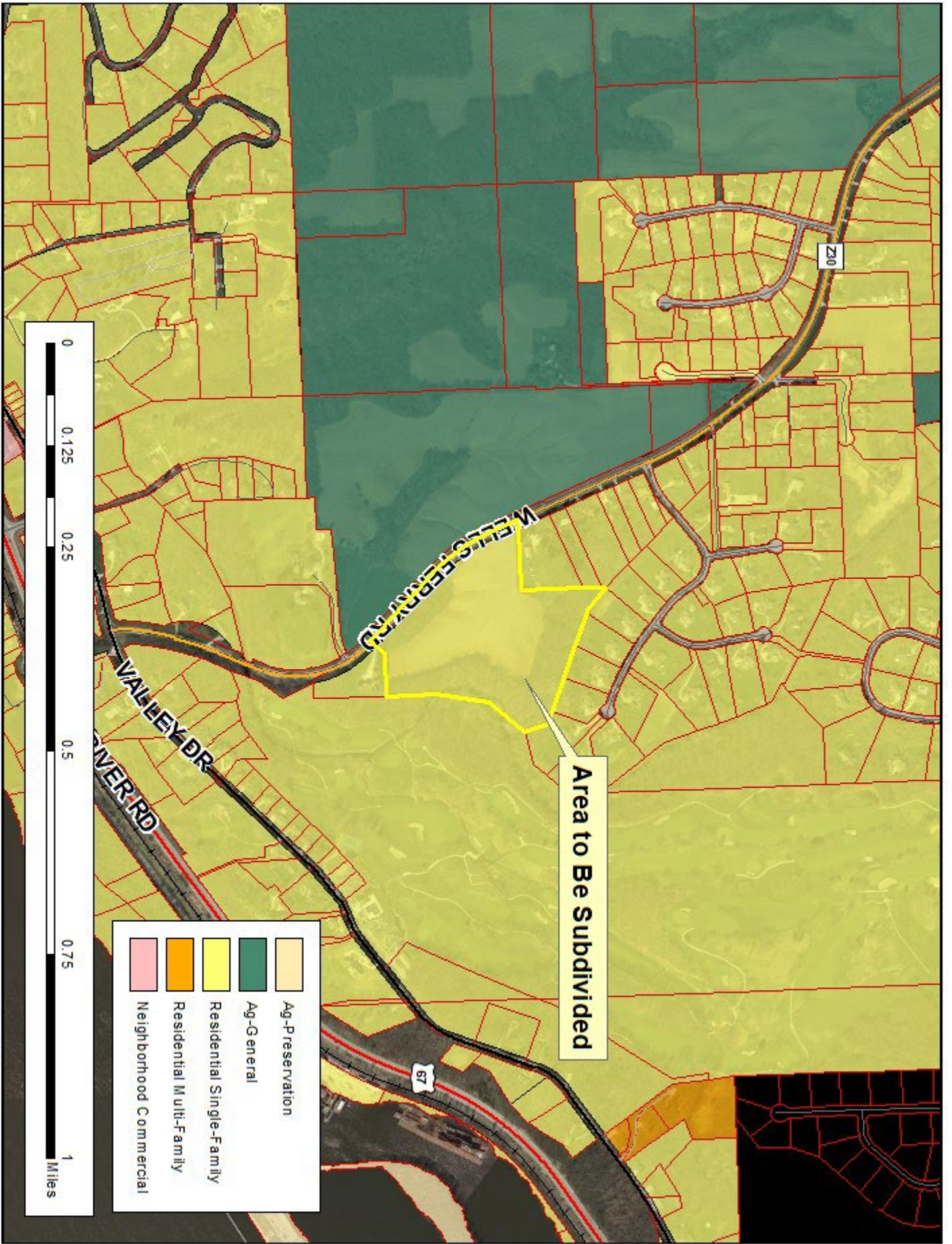
230

67

Area to Be Subdivided

0 0.125 0.25 0.5 0.75 1 Miles

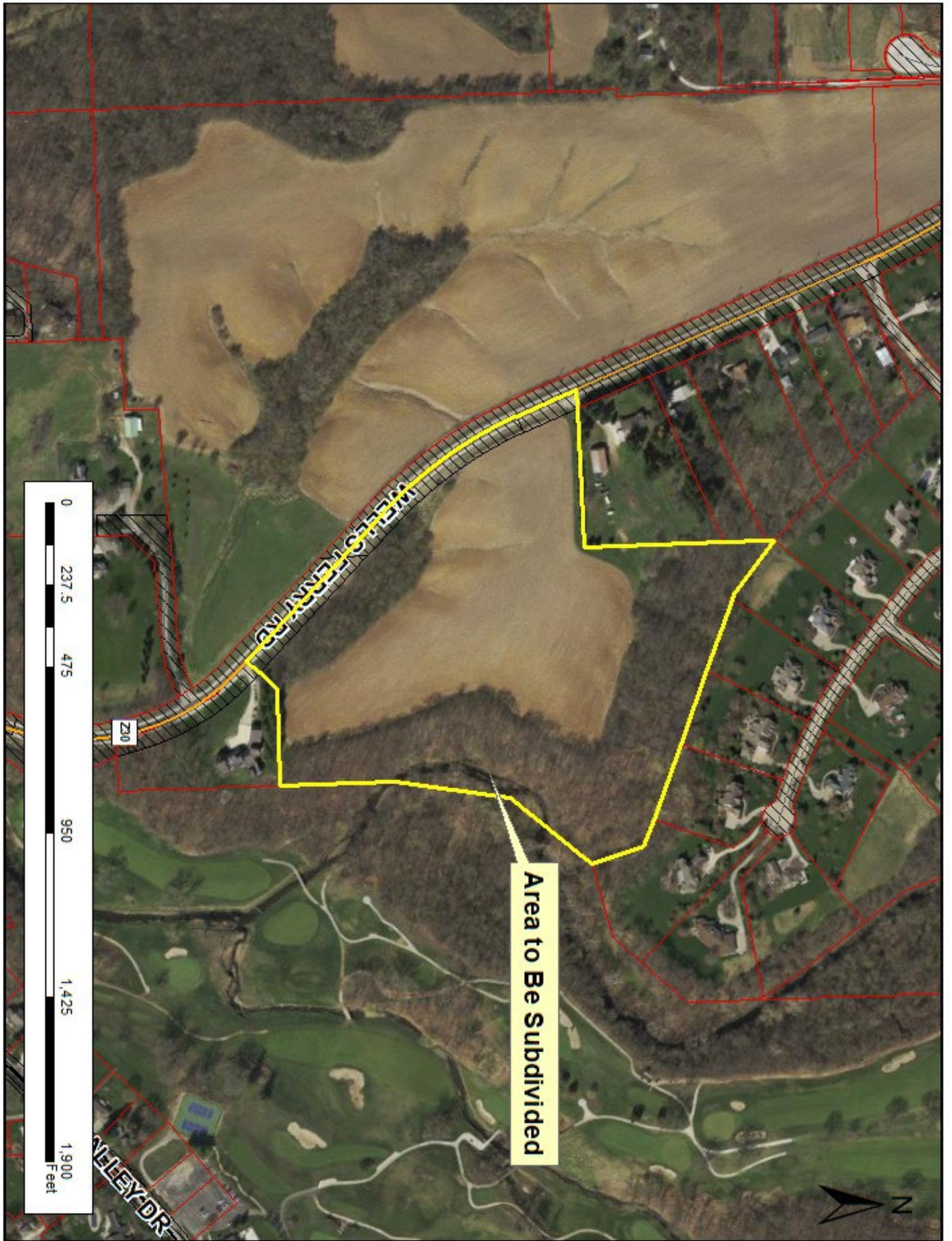




Area to Be Subdivided



- Ag-Preservation
- Ag-General
- Residential Single-Family
- Residential Multi-Family
- Neighborhood Commercial



Area to Be Subdivided

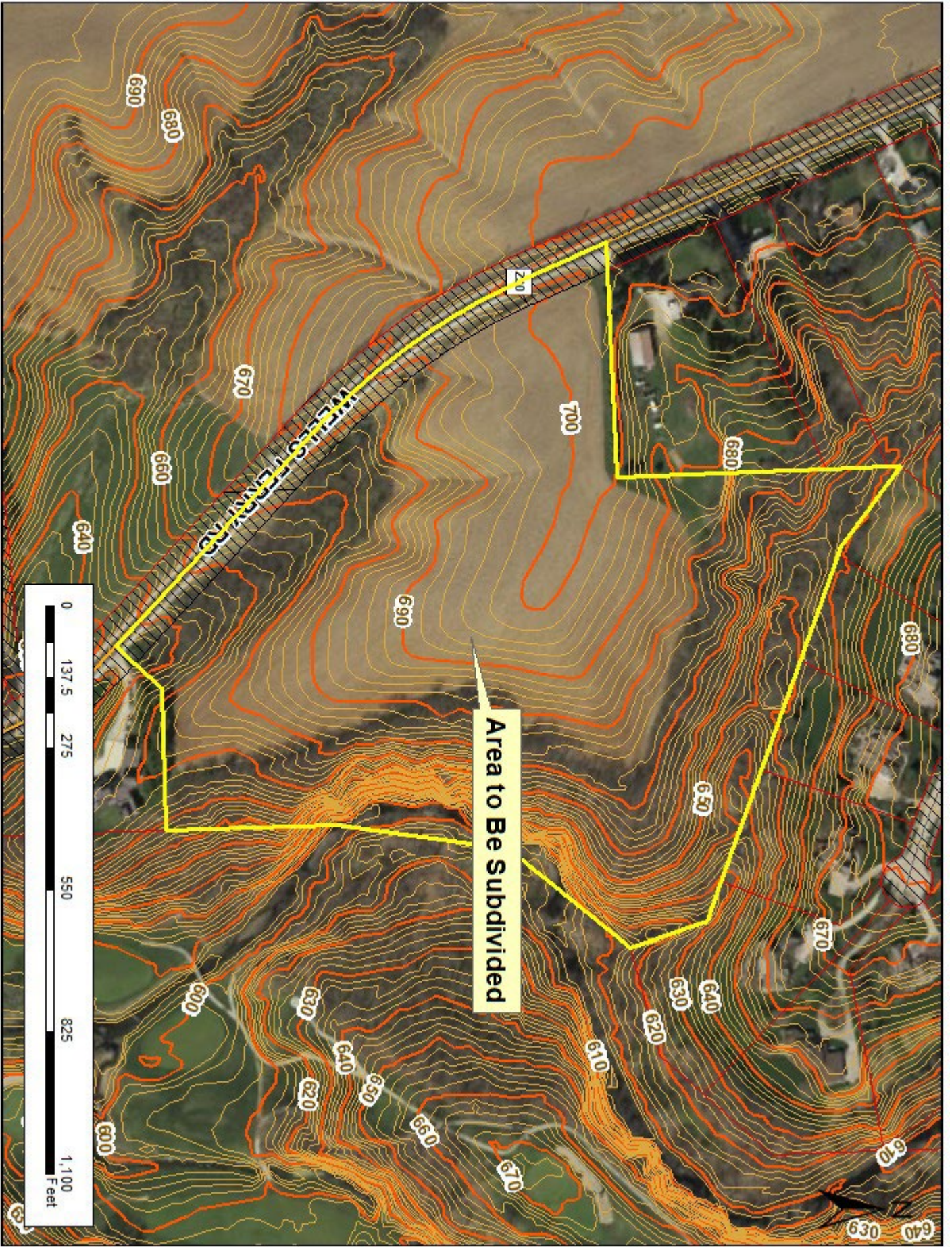
0 237.5 475 950 1,425 1,900 Feet

VALLEY DR

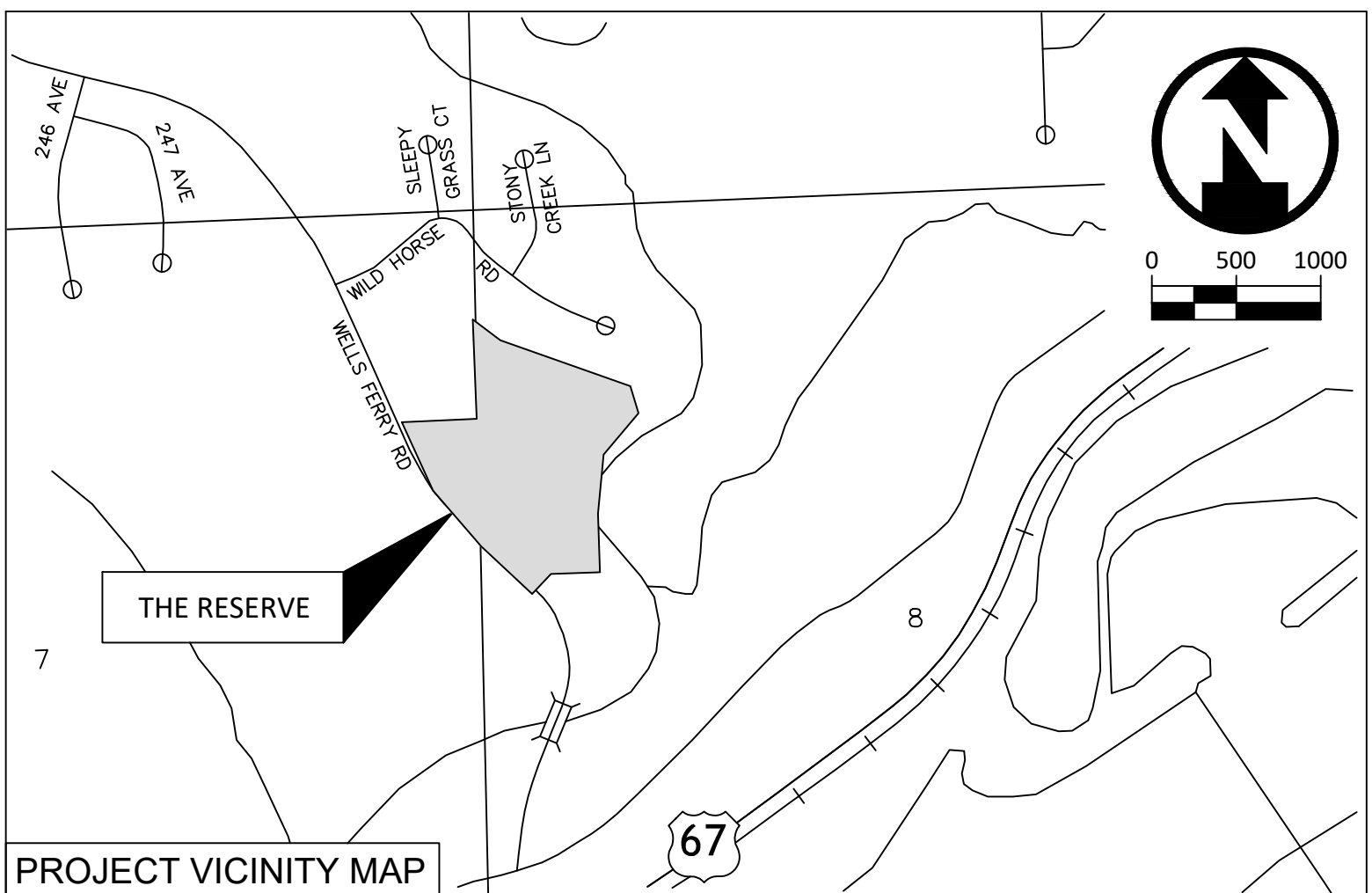
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WINDY HOLLOW RD



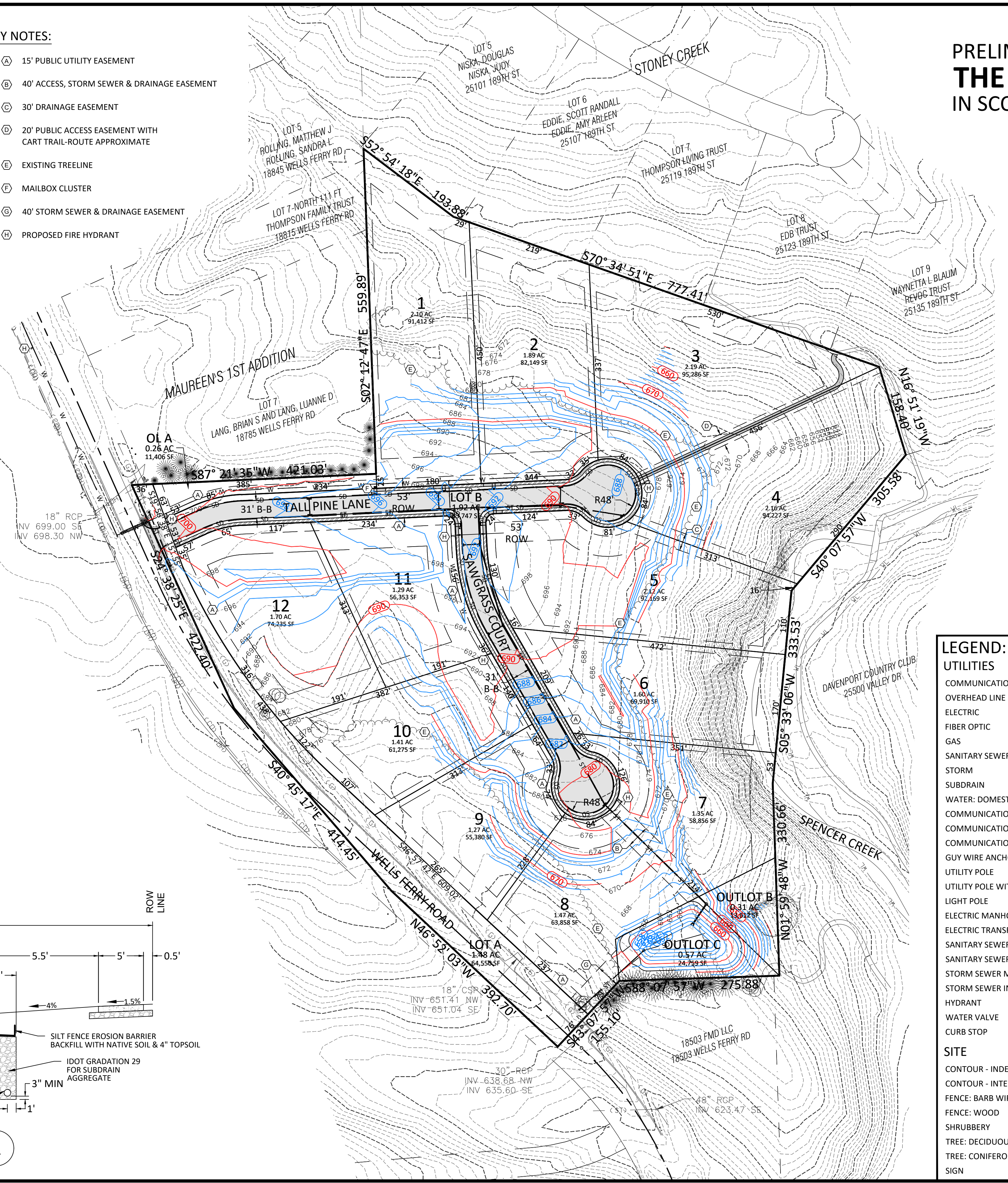


LEGAL DESCRIPTION:
 BEING A PART OF THE NORTHEAST 1/4 OF SECTION 7 AND THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 78 NORTH, RANGE 5 EAST OF THE 5TH P.M., LYING SOUTH AND EAST OF MAUREEN'S FIRST ADDITION AND SOUTH OF STONEY CREEK SUBDIVISION, SCOTT COUNTY, IOWA, AND RECORDED IN TRACT D OF DEED 2016-32206,
 BEGINNING AT THE EAST CORNER OF MAUREEN'S 1ST ADDITION, THENCE S02°12'47"E, 559.89 FEET (S60.59' (R)); THENCE S87°21'35"W, 421.03 FEET (S85.38' (R) 424.88' (D)); THENCE S24°38'25"E, 422.40 FEET; THENCE S40°45'17"E, 414.45 FEET (430.98' (R)); THENCE S46°52'03"E, 392.70 FEET; THENCE N43°07'57"E, 155.10 FEET; THENCE N88°07'57"E, 275.88 FEET; THENCE N01°59'48"W, 330.66 FEET; THENCE N05°33'06"E, 333.53 FEET (337.92' (R)); THENCE N40°07'57"E, 305.58 FEET; THENCE N16°51'19"W, 158.40 FEET; THENCE S70°34'51"E, 777.41 FEET (772.20' (R)); THENCE N52°54'18"W, 193.88 FEET TO THE POINT OF BEGINNING.;
 DESCRIBED AREA CONTAINS 25.10 ACRES AND IS SUBJECT TO EASEMENTS AND OTHER RESTRICTIONS OF RECORD.



- GENERAL NOTES:**
- ALL IMPROVEMENTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE LATEST CITY OF BETTENDORF STANDARD SPECIFICATIONS AND DETAIL DRAWINGS.
 - THE EXISTING ZONING FOR THE LOTS SHOWN ON THE SITE IS R-1.
- REQUIRED SETBACKS ARE:**
- | FRONT | SIDE | REAR |
|-------|------|------|
| 50' | 10' | 40' |
- MINIMUM LOT AREA 30,000 SF.
 - MAX BUILDING HEIGHT 35', 2.5 STORIES MAX.
 - EASEMENTS FOR PLANNING PURPOSES. SUBJECT TO CHANGE WITH SITE DESIGN. TO BE INCORPORATED INTO FINAL PLAT OR EASEMENT EXHIBITS.
 - NO ACCESS TO WELLS FERRY ROAD FROM ADJACENT LOTS.
 - INDIVIDUAL SEPTIC SYSTEMS SHALL BE INSTALLED BY EACH LOT WHEN DEVELOPED.
 - 12" WATER MAIN TO BE EXTENDED TO SITE ALONG WELLS FERRY RD FROM NORTH AT 248TH AVE. ALL WATERMAIN IN SUBDIVISION TO BE 8".
 - THE INTENDED USE OF THE OUTLOT AND LETTERED LOTS WITHIN THE PLAT ARE AS FOLLOWS:
- | OUTLOT | INTENDED USE | RESPONSIBLE PARTY |
|----------|---------------------|-------------------------|
| OUTLOT A | MAILBOX FACILITIES | HOMEOWNER'S ASSOCIATION |
| OUTLOT B | DETENTION BASIN | HOMEOWNER'S ASSOCIATION |
| OUTLOT C | DETENTION BASIN | HOMEOWNER'S ASSOCIATION |
| LOT A | STREET RIGHT OF WAY | SCOTT COUNTY |
| LOT B | STREET EASEMENT | HOMEOWNER'S ASSOCIATION |

- KEY NOTES:**
- (A) 15' PUBLIC UTILITY EASEMENT
 - (B) 40' ACCESS, STORM SEWER & DRAINAGE EASEMENT
 - (C) 30' DRAINAGE EASEMENT
 - (D) 20' PUBLIC ACCESS EASEMENT WITH CART TRAIL-ROUTE APPROXIMATE
 - (E) EXISTING TREELINE
 - (F) MAILBOX CLUSTER
 - (G) 40' STORM SEWER & DRAINAGE EASEMENT
 - (H) PROPOSED FIRE HYDRANT



**PRELIMINARY PLAT
 THE RESERVE
 IN SCOTT COUNTY, IOWA**

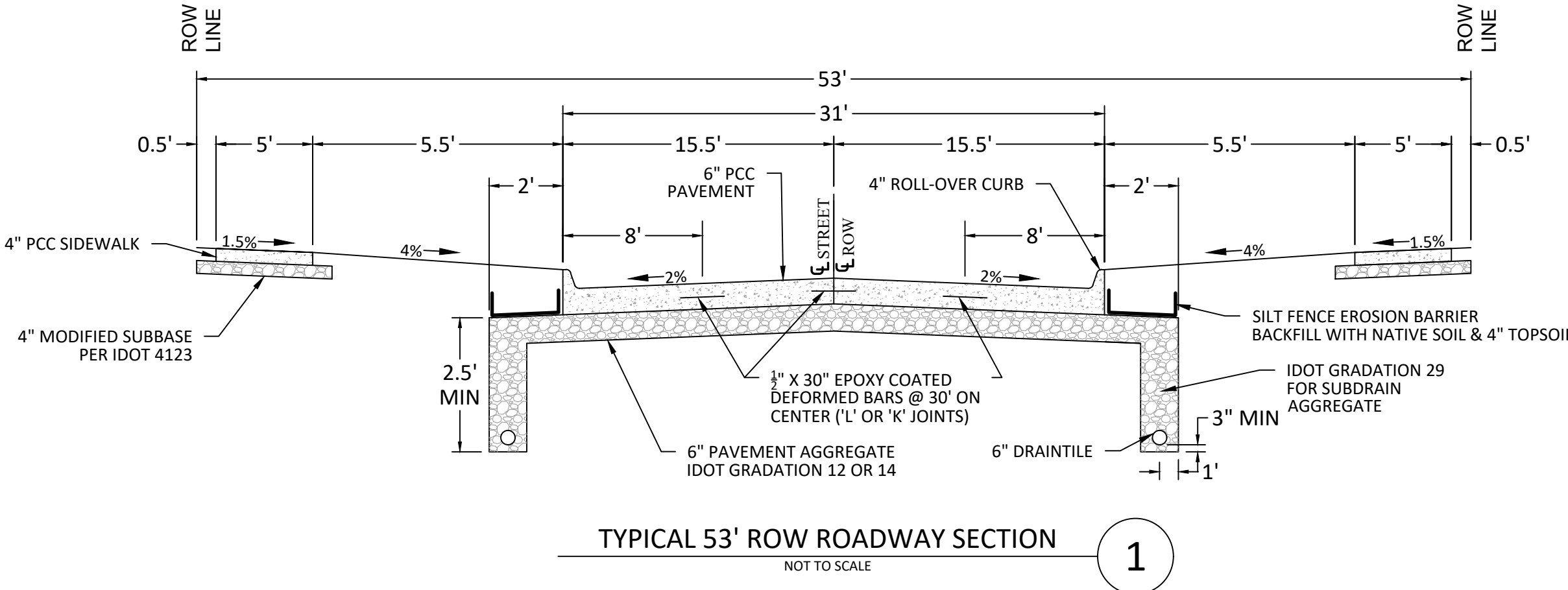
OWNER:
 WINDMILLER DEVELOPMENT, LLC
 P.O. BOX 790
 BETTENDORF, IA 52722

PREPARED BY:
 AXIOM CONSULTANTS, LLC
 300 S CLINTON STREET, #200
 IOWA CITY, IOWA 52240

APPLICANT:
 WINDMILLER DEVELOPMENT, LLC
 P.O. BOX 790
 BETTENDORF, IA 52722

LEGEND:

UTILITIES	EXISTING	PROPOSED
COMMUNICATIONS	(CD)	CO
OVERHEAD LINE	(DH)	OH
ELECTRIC	(E)	E
FIBER OPTIC	(FD)	FO
GAS	(G)	G
SANITARY SEWER	(SS)	SS
STORM	(ST)	ST
SUBDRAIN	(SD)	SD
WATER: DOMESTIC	(W)	W
COMMUNICATIONS HANDHOLE	(CH)	CH
COMMUNICATIONS PEDESTAL	(CP)	CP
COMMUNICATIONS MANHOLE	(CM)	CM
GUY WIRE ANCHOR	(GA)	GA
UTILITY POLE	(UP)	UP
UTILITY POLE WITH LIGHT	(UPL)	UPL
LIGHT POLE	(LP)	LP
ELECTRIC MANHOLE	(EM)	EM
ELECTRIC TRANSFORMER	(ET)	ET
SANITARY SEWER MANHOLE	(SSM)	SSM
SANITARY SEWER CLEANOUT	(SSC)	SSC
STORM SEWER MANHOLE	(STM)	STM
STORM SEWER INTAKE	(SSI)	SSI
HYDRANT	(H)	H
WATER VALVE	(V)	V
CURB STOP	(CS)	CS
SITE	EXISTING	PROPOSED
CONTOUR - INDEX	100	100
CONTOUR - INTERMEDIATE	101	101
FENCE: BARB WIRE	-x-x-x-	-x-x-x-
FENCE: WOOD	-o-o-o-	-o-o-o-
SHRUBBERY	(S)	(S)
TREE: DECIDUOUS	(D)	(D)
TREE: CONIFEROUS	(C)	(C)
SIGN	(SIG)	(SIG)



**AXIOM
 CONSULTANTS**
 WWW.AXIOM-CON.COM | (319) 519-6220

THE RESERVE
 SCOTT COUNTY, IOWA

WINDMILLER DEVELOPMENT, LLC

ISSUED FOR

COUNTY REVIEW

DATE	03-08-2024
DESCRIPTION	DATE

DESIGNED BY	JP
DETAILED BY	JP
CHECKED BY	BB
PROJECT NO.	22-0197
SHEET NAME	PRELIMINARY PLAT

1 OF 1

NOT FOR CONSTRUCTION

PLANNING & DEVELOPMENT

600 West Fourth Street

Davenport, Iowa 52801-1106

Email: planning@scottcountyiowa.gov

Office: (563) 326-8643

Fax: (563) 326-8257

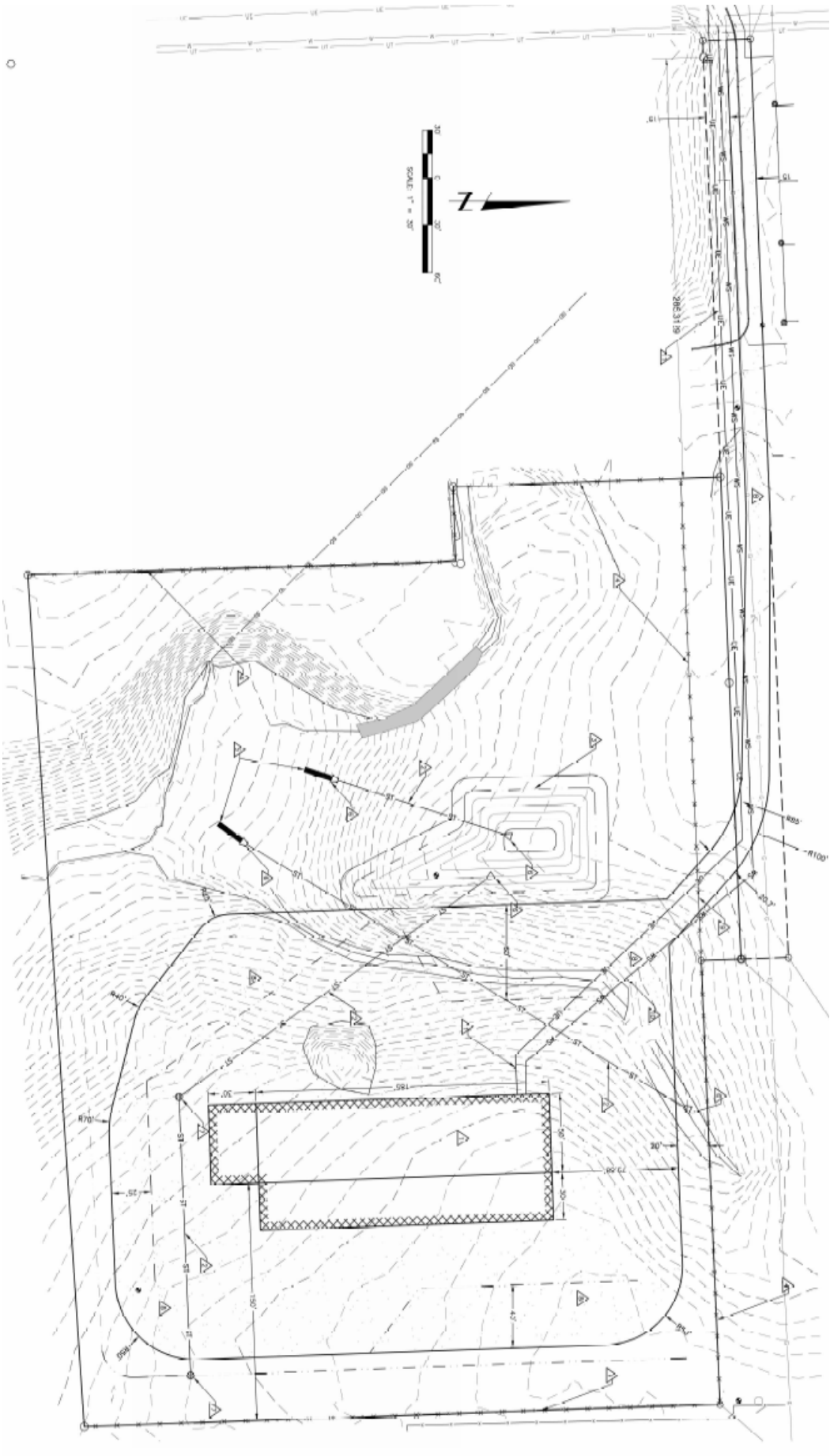


**SCOTT COUNTY
PLANNING AND ZONING COMMISSION
NOTICE OF PUBLIC MEETING**

Public Notice is hereby given as required by Section 6-31 of the County Code (Zoning Ordinance for Unincorporated Scott County), that the Scott County Planning and Zoning Commission will review a site plan approval request submitted by **Chris Dowell (DBA Taylor Ridge Paving)** at a public meeting on **Tuesday, April 2, 2024 at 5:30 PM**. The meeting will be held in **Meeting Room A/B of the Scott County Library – Eldridge Branch, 200 North 6th Street, Eldridge, Iowa 52748**.

The Planning and Zoning Commission will consider the request of **Chris Dowell (DBA Taylor Ridge Paving)** for approval of a site plan to establish a contractor office at the property legally described as Part of the NW ¼ of the NW ¼ of Section 1 of Buffalo Township. The property is zoned "Commercial-Light Industrial" (C-2), which allows contractor offices as a principal permitted use. A copy of the proposed site plan is on the reverse side of this notice and can be viewed in the meeting folder on the Planning and Development webpage: <https://www.scottcountyiowa.gov/planning/planning-zoning-commission/meetings>.

If you have questions or comments regarding the meeting, please call, write or email the Planning and Development Department, 600 West Fourth Street, Davenport, Iowa 52801, (563) 326-8643, planning@scottcountyiowa.gov or attend the hearing.





Subject Property

140TH ST

110TH AVE

61 140TH ST

Y48

280

S UTAH AVE

W RIVER DR

Duvenport





110TH AVE

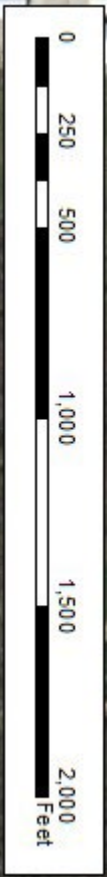
140TH ST

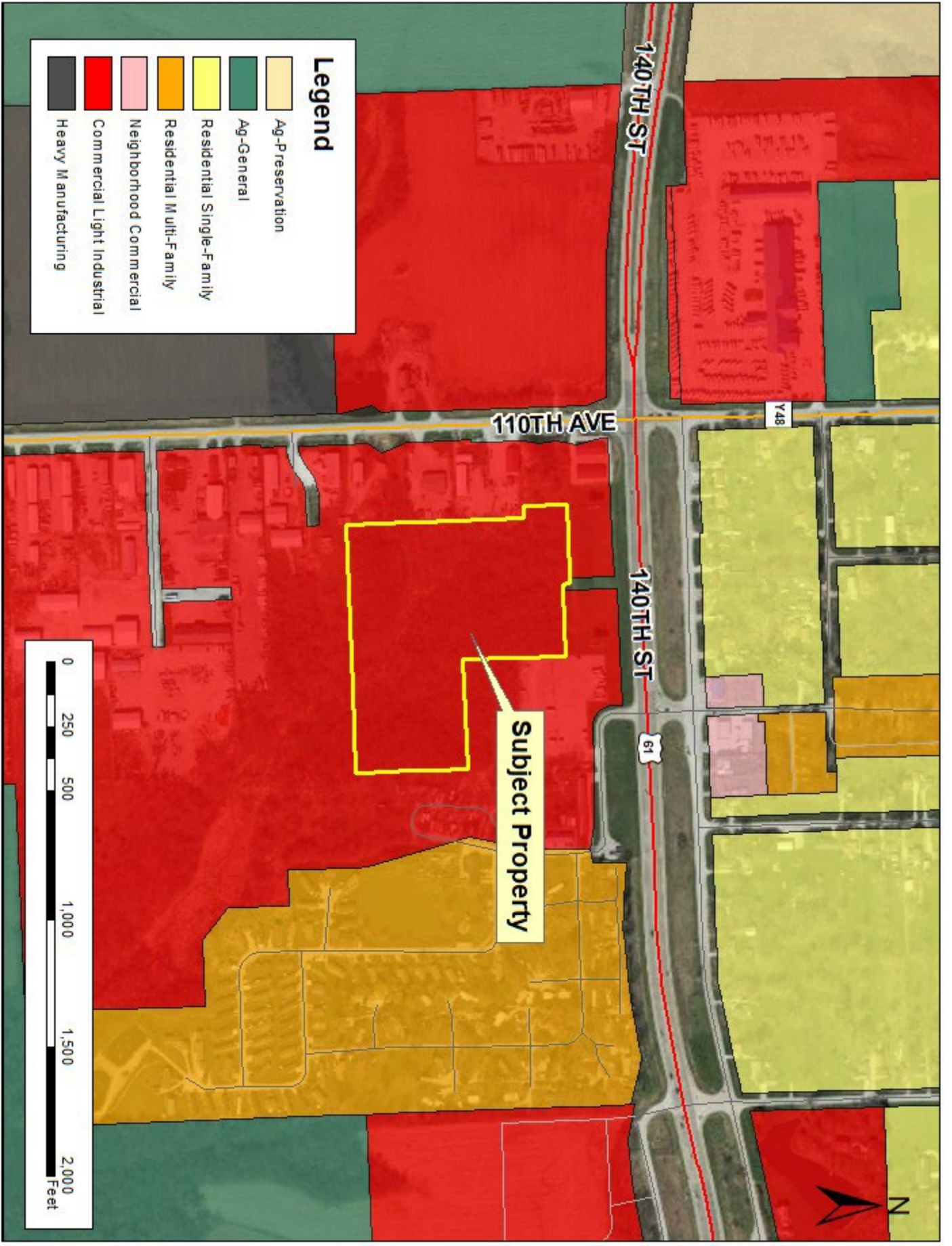
140TH ST

Subject Property

Y48

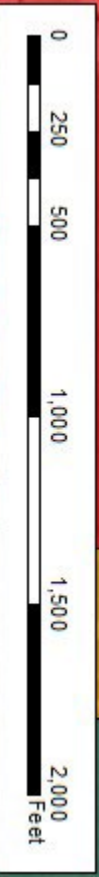
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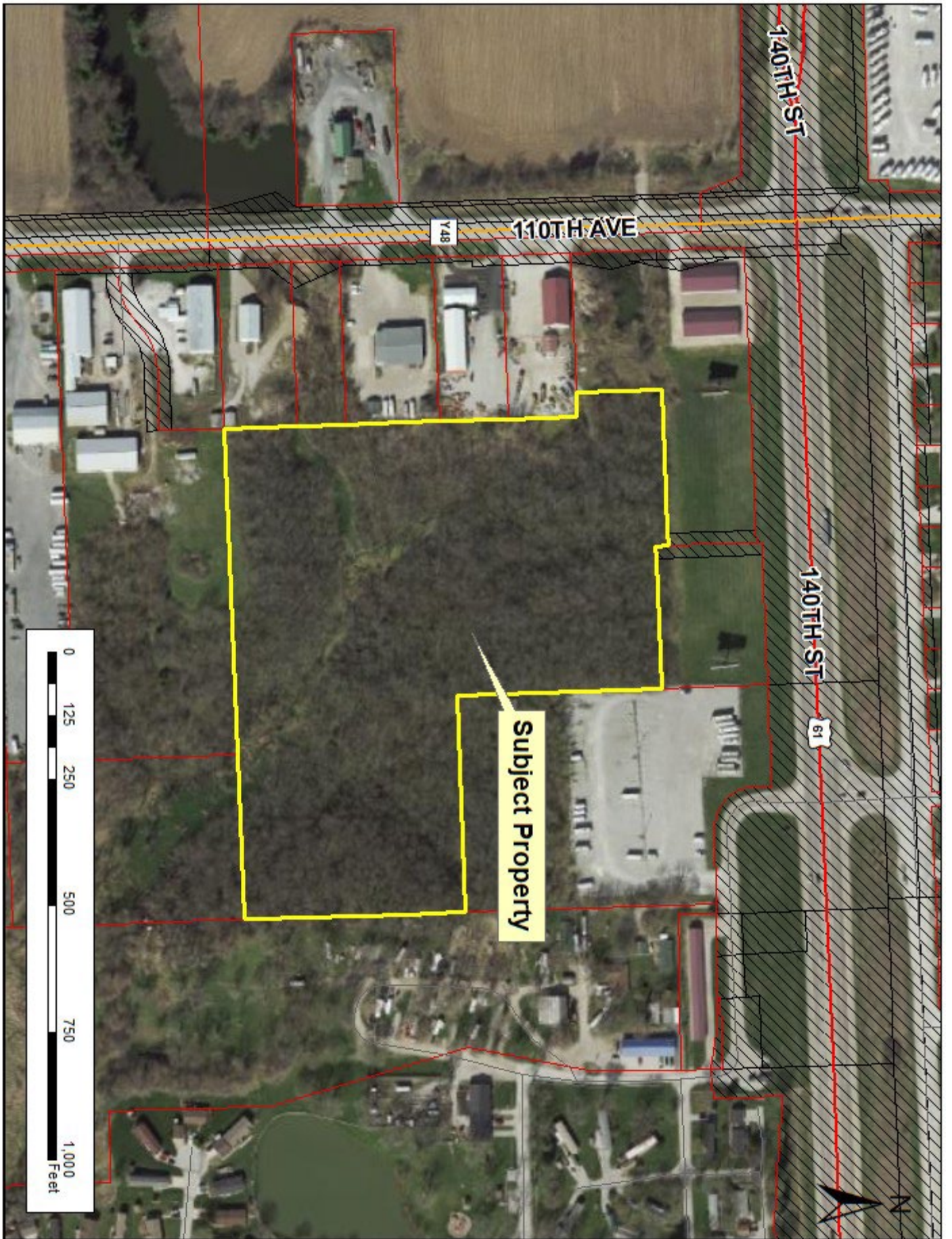
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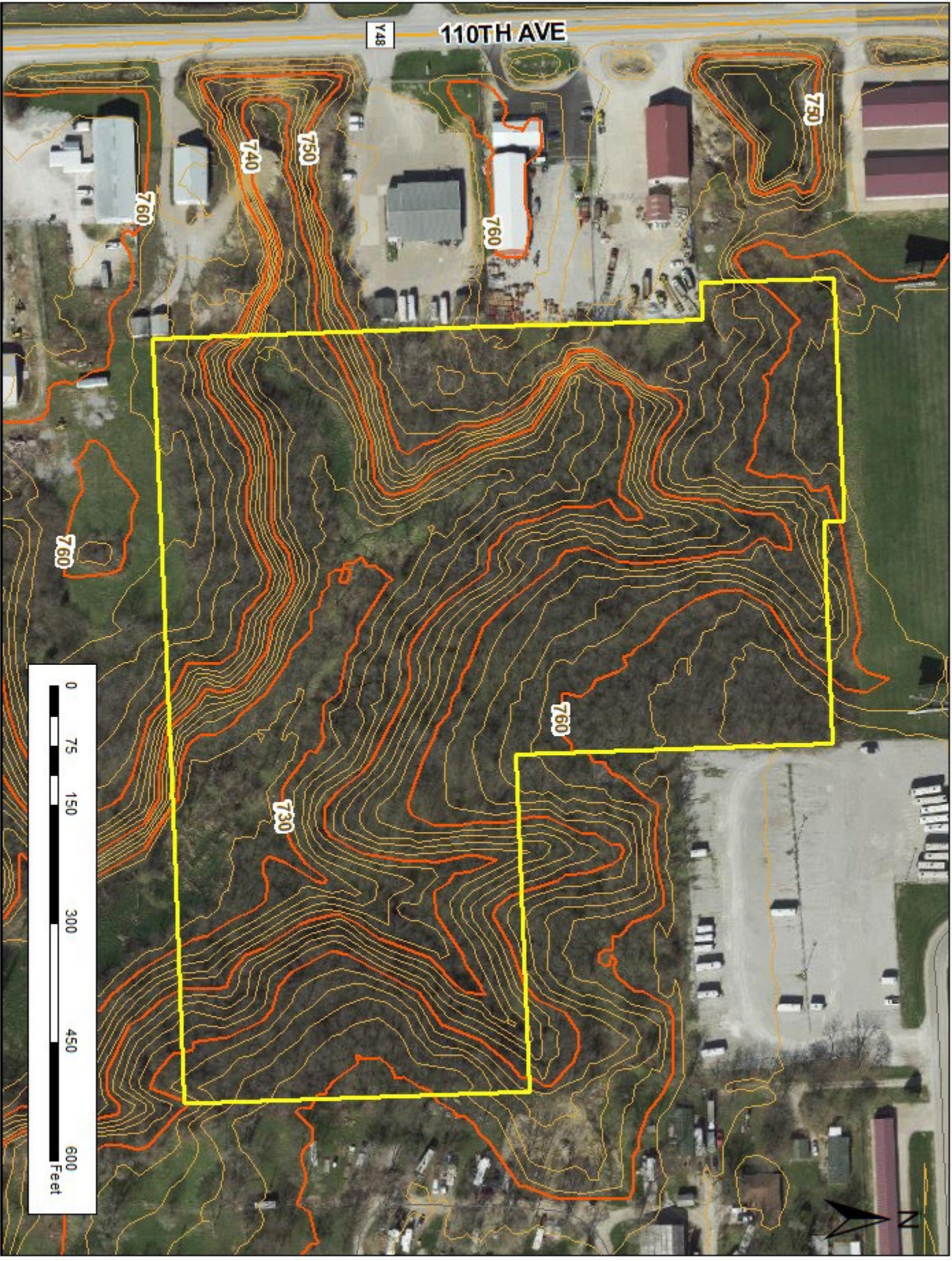
Light Yellow	Ag-Preservation
Green	Ag-General
Yellow	Residential Single-Family
Orange	Residential Multi-Family
Pink	Neighborhood Commercial
Red	Commercial Light Industrial
Dark Grey	Heavy Manufacturing



Subject Property







PLANNING & DEVELOPMENT

600 West Fourth Street
Davenport, Iowa 52801-1106
Office: (563) 326-8643 Fax: (563) 326-8257
Email: planning@scottcountyiowa.com



Chris Mathias, Director

Site Plan Review Application

Date Submitted: 3 / 8 /20 24

Name: KEVAN COOPER / Bruner, Cooper & Zuck, Inc.

Address: 835 Golden Valley Drive City Bettendorf State IA Zip 52722

Phone: 309-343-9282 Email: kjc@bczengineering.com

Developer Name: Chris Dowell / Taylor Ridge Paving

Developer Address: 602 2nd Street West City Andalusia State IL Zip 61232

Developer Phone: 309-738-2611 Developer Email: taylorridgepaving@yahoo.com

Name of proposed development: Taylor Ridge Paving Davenport Yard

Name and location of adjoining subdivisions

<u>Subdivision Name</u>	<u>Location</u>
<u>Blessing Acres 1st Addition</u>	<u>North & West of Lot</u>
<u>Lakeside Manor</u>	<u>East of Lot</u>

Name and addresses of adjoining landowners

<u>Name</u>	<u>Address</u>	<u>City</u>	<u>State</u>	<u>Zip</u>
<u>National Retail Properties LP</u>	<u>11261 40th Street</u>	<u>Davenport</u>	<u>IA</u>	<u>52804</u>
<u>VTJ Properties LLC</u>	<u>13991 110th Avenue</u>	<u>Davenport</u>	<u>IA</u>	<u>52804</u>
<u>Y-48 Properties LLC</u>	<u>13817 110th Avenue</u>	<u>Davenport</u>	<u>IA</u>	<u>52804</u>
<u>Point Properties LLC</u>	<u>13813 110th Avenue</u>	<u>Davenport</u>	<u>IA</u>	<u>52804</u>

Fees: Less than five (5) acres = \$100.00 Between five (5) and ten (10) acres = \$150.00
Ten (10) acres or more = \$200.00

188 East Simmons Street
Galesburg, Illinois 61401
309.343.9282

308 North 3rd Street
Burlington, Iowa 52601
319.752.9282

835 Golden Valley Drive
Bettendorf, Iowa 52722
563.355.1856

IL PROFESSIONAL DESIGN FIRM
LS / ARC / PE / SE 184002633-0015



WWW.BCZENGINEERING.COM

SITE CONSTRUCTION PLANS

WEST DAVENPORT SITE DESIGN

HIGHWAY 61 AND 110TH AVENUE

DAVENPORT, IOWA

INDEX OF SHEETS

- C1 COVER SHEET
- C2 GENERAL NOTES AND LEGEND
- C3 EXISTING CONDITIONS AND REMOVAL PLAN
- C4 EROSION AND SEDIMENT CONTROL PLAN
- C5 SITE PLAN
- C6 GRADING AND UTILITY PLAN
- C7 DETAILS
- C8 SUDAS DETAILS



LOCATION MAP
DAVENPORT, IOWA
NTS

SITE IMPROVEMENT PLANS

**HIGHWAY 61 AND 110TH AVENUE
DAVENPORT, IOWA
SCOTT COUNTY**

- ISSUE RECORD -

NO.	DATE	DESCRIPTION

P PRELIMINARY
R REVISION
C BID DOCUMENTS
A FOR CONSTRUCTION RECORD DOCUMENTS

COVER

C1



SIGNED THIS 12 DAY OF Feb, 2024

[Signature]
KEVAN J. COOPER,
IOWA LICENSED PROFESSIONAL ENGINEER NO. 15471
LICENSE RENEWAL DATE: 12/31/2025

SHEETS COVERED BY THIS SEAL C1-C8

GENERAL NOTES

- UNDERGROUND WATER, GAS, TELEPHONE, SEWER & ELECTRICAL UTILITY INFORMATION SHOWN ON THESE PLANS WAS COMPILED FROM PREVIOUS SITE PLANS, UTILITY COMPANY MAPS, AND FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS MANHOLES, VALVES, JUNCTION BOXES, ETC. RESPECTIVE UTILITY COMPANIES SHOULD BE CONTACTED FOR EXACT LOCATIONS. THE 811 UTILITY LOCATE (IOWA ONE CALL) TELEPHONE NUMBER IS 1-800-292-8989.
- UTILITY COMPANIES:
 - A. ELECTRIC & GAS:
 - MIDAMERICAN ENERGY
DEANNA PARCHERT
309.793.3704
 - EASTERN IOWA LIGHT AND POWER
RICH VANERSVELDE
 - LUMENS ENGINEERING GROUP
MINDI BURGETT
MINDI.BURGETT@LUMEN.COM
 - B. COMMUNICATIONS:
 - MEDIACOM
MITCH HANDCOCK
319.797.2414
 - AUREON
JEFF KLOCKO
515.830.0445
 - C. WATER:
 - IOWA AMERICAN WATER
JULIE ALLENDER
563.468.9222
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL STATE AND LOCAL ORDINANCES AND SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO INITIATING CONSTRUCTION.
- AT ALL UTILITY CROSSINGS PROVIDE SELECT COMPACTED BACKFILL TO ONE FOOT OVER THE TOP OF THE EXISTING UTILITY, COORDINATE IN ADVANCE WITH THE APPROPRIATE UTILITY COMPANY REGARDING OTHER REQUIREMENTS.
- ANY PROPERTY DAMAGE OUTSIDE OF EASEMENTS AND RIGHT-OF-WAY LINES SHALL BE REPLACED TO ORIGINAL OR BETTER CONDITION BY THE CONTRACTOR AT HIS/HER OWN EXPENSE.
- THIS CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
 - A. "IOWA - SUDAS (STATEWIDE URBAN DESIGN AND SPECIFICATIONS)", LATEST EDITION.
 - B. SCOTT COUNTY CODE OF ORDINANCES, LATEST EDITION.
- CONTACT IOWA ONE CALL BY DIALING 811 OR 1-800-292-8989 AT LEAST 48 HOURS BUT NO MORE THAN 14 CALENDAR DAYS BEFORE DIGGING.
- THE CONTRACTOR SHALL NOTIFY THE PROPER AUTHORITIES A MINIMUM OF 48 HOURS PRIOR TO CONNECTING TO AN EXISTING STORM SEWER, SANITARY SEWER, WATER MAIN, FIBER, GAS OR ELECTRIC.
- THE CONTRACTOR SHALL NOTIFY THE PROPER AUTHORITIES A MINIMUM OF 48 HOURS PRIOR TO ANY TREE REMOVALS.

MISCELLANEOUS NOTES

- SEE ARCHITECTURAL DRAWINGS FOR ALL NEW BUILDING PLANS, DIMENSIONS AND DETAILS.
- PROPOSED ELECTRICAL SERVICE SHALL BE PER ELECTRICAL DRAWINGS. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY.
 - PROPOSED GAS SERVICE SHALL BE PER PLUMBING DRAWINGS. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY.
 - PROPOSED TELEPHONE SERVICE SHALL BE PER MECHANICAL DRAWINGS. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY.
- SEE LANDSCAPE PLANS FOR FINISH SITE LANDSCAPING PLANTINGS. (BY OTHERS)
- PROPOSED UTILITY & PIPE LOCATIONS & ELEVATIONS SHOWN ENTERING THE BUILDING ON THESE SHEETS ARE ONLY APPROXIMATE. CONTRACTOR SHALL VERIFY ALL SUCH LOCATIONS AND ELEVATIONS WITH MECHANICAL / ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. IN CASE OF DISCREPANCY, MECHANICAL / ARCHITECTURAL PLANS SHALL GOVERN. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANIES PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION.

GRADING & REMOVAL NOTES

- GRADE ALL DISTURBED EARTH AREAS AS SHOWN BY PROPOSED CONTOURS AND SPOT ELEVATIONS. SEED AND FERTILIZE IN ACCORDANCE WITH ARTICLE 2601.03,C,4 AND SECTION 4169 I.A.D.O.T. STANDARD SPECIFICATIONS. USE MULCH MEETING THE REQUIREMENTS OF ARTICLES 2601.03,E,2,a AND 4169.07,A STANDARD SPECIFICATIONS. CONTRACTOR SHALL SEED ALL AREAS DISTURBED BY CONSTRUCTION AND SHALL PROVIDE AND INSTALL STRAW MULCH "PUNCHED" INTO THE SOIL FOR EROSION CONTROL ON ALL SEEDED AREAS. PROVIDE POSITIVE DRAINAGE.
- PROPOSED SURFACE GRADE ADJACENT TO ALL EXTERIOR BUILDING WALLS SHALL BE 6" BELOW FINISHED FLOOR ELEVATIONS UNLESS SPECIFIED BY PROPOSED CONTOURS OR SPOT ELEVATIONS.
- EXCESS DIRT FROM CONSTRUCTION SHALL BE STOCKPILED ON SITE BY THE CONTRACTOR AS DIRECTED BY THE ENGINEER. EXCESS DIRT SHALL NOT LEAVE THE SITE WITHOUT ENGINEER'S APPROVAL.
- ALL FENCES, DRAIN TILES, WATER MAINS, DRAINAGE DITCHES OR OTHER STRUCTURES WHICH MAY BE SEVERED OR DAMAGED, REMOVED, OR INTERFERED WITH DURING CONSTRUCTION MUST BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN DRAINAGE IN THE AREA DURING CONSTRUCTION. ALL DRAINAGE DITCHES SHALL BE OPEN AT THE END OF EACH DAYS WORK.
- ALL FILL AREAS SHALL BE STRIPPED OF ALL TOPSOIL PRIOR TO PLACING EMBANKMENT MATERIAL. LAWN AREAS THAT HAVE RECEIVED EMBANKMENT MATERIAL SHALL RECEIVE AT LEAST 6" OF TOPSOIL AS THE FINAL COURSE OF FILL IN PREPARATION FOR SEEDING OPERATIONS. ALL LAWN AREAS DISTURBED DURING CONSTRUCTION SHALL BE REPAIRED AND RESTORED TO THE SATISFACTION OF THE OWNER.
- NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL TRASH AND CONSTRUCTION DEBRIS WILL BE HAULED TO THE LOCAL MUNICIPAL DUMP AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL SOLID WASTE MANAGEMENT REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE SOLID WASTE COLLECTION DURING CONSTRUCTION TO MINIMIZE POLLUTION.
- ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING THESE PROCEDURES DURING CONSTRUCTION.
- SUDAS DIVISION 2: EARTHWORK SECTION 5010: EARTHWORK, SUBGRADE AND SUBBASE
- SUDAS DIVISION 9: SITE WORK AND LANDSCAPING SECTION 9010: SEEDING SECTION 9040: EROSION AND SEDIMENT CONTROL

PAVEMENT & SIDEWALK NOTES

- LONGITUDINAL SLOPE ON ALL SITE SIDEWALKS SHALL NOT EXCEED 4.50%, EXCEPT AT DESIGNATED SIDEWALK RAMP LOCATIONS WHERE SLOPE SHALL NOT EXCEED 8.0%, CROSS SLOPE ON ALL SITE SIDEWALKS SHALL NOT EXCEED 1.75%, 1.50% PREFERRED.
- ALL PROPOSED SITE PLAN DIMENSIONS ARE TO FACE OF CURBS (FOC) OR AS NOTED ON PLANS.
- SUDAS DIVISION 7: STREETS AND RELATED WORK SECTION 7010: PORTLAND CEMENT CONCRETE PAVEMENT SECTION 7030: SIDEWALKS, SHARED USE PATHS AND DRIVEWAYS

STORM SEWER NOTES

- PROPOSED STORM SEWER LENGTHS INDICATED ON PLANS ARE MEASURED FROM CENTER TO CENTER OF STRUCTURES.
- UNLESS NOTED OTHERWISE, ALL STORM SEWER SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
- INLETS AND MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD DETAILS INCLUDED WITH THESE PLANS.
- SUDAS DIVISION 4: SEWER AND DRAINS SECTION 4020: STORM SEWER SECTION 4060: CLEANING, INSPECTION AND TESTING OF SEWERS
- SUDAS DIVISION 6: STRUCTURES FOR SANITARY AND STORM SEWERS SECTION 6010: STRUCTURES FOR SANITARY AND STORM SEWER SECTION 6020: REHABILITATION OF EXISTING MANHOLES SECTION 6030: CLEANING, INSPECTION AND TESTING OF STRUCTURES

MISCELLANEOUS REFERENCES:

- SUDAS DIVISION 11: MISCELLANEOUS SECTION 11.020: MOBILIZATION SECTION 11.040: TEMPORARY SERVICES SECTION 11.060: CONCRETE WASHOUT

WATERMAIN & SERVICE NOTES

- SEPARATION OF WATER MAINS FROM SANITARY SEWERS AND STORM SEWERS SHALL BE IN ACCORDANCE WITH THE IOWA WASTEWATER FACILITIES DESIGN STANDARDS, CHAPTER 12, SECTION 5.8, 'PROTECTION OF WATER SUPPLIES.' WHERE THE WATER MAIN EITHER CROSSES UNDER OR IS LESS THAN 18 INCHES ABOVE THE SEWER, ONE FULL LENGTH OF WATER MAIN SHALL BE LOCATED SO THAT BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE SEWER. THE SEWER AND WATER PIPES MUST BE ADEQUATELY SUPPORTED. A LOW PERMEABILITY SOIL SHALL BE USED FOR BACKFILLING MATERIAL WITHIN TEN FEET OF THE POINT OF CROSSING. NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SEWER MANHOLE. SEWER PIPE AT THIS LOCATION SHALL BE CONSTRUCTED OF WATER MAIN QUALITY MATERIAL.
- MINIMUM BURIAL OF WATER MAIN AND SERVICE PIPING SHALL BE 5' FROM FINISH GRADE TO TOP OF PIPE.
- STOPS AND FITTINGS: ALL CORPORATION STOPS AND CURB STOPS SHALL BE FABRICATED OF BRASS AND SHALL BE PROVIDED WITH OUTLETS SUITABLE FOR COPPER CONNECTIONS. CURB STOPS SHALL BE OF THE ROUND-WAY TYPE. FITTINGS FOR SERVICE PIPE SHALL BE BRASS AND OF THE COMPRESSION TYPE FOR TYPE K TUBING. THE CITY REQUIREMENTS AND SPECIFICATIONS SHALL BE USED, CONTRACTOR TO VERIFY PROPER STOPS AND FITTINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PIPING MEASUREMENTS AND LAYOUT AND SHALL VERIFY COMPATIBILITY OF NEW PIPING WITH EXISTING AT FLANGED, MECHANICAL JOINT, PUSH - ON OR THREADED CONNECTIONS, PROVIDING SUITABLE ADAPTORS AS MAY BE REQUIRED. COST OF ANY AND ALL SUCH ADAPTORS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN ALL WATER MAINS AND SEWERS. IF SEPARATION IS NOT POSSIBLE, THE SEWER SHALL BE CONSTRUCTED OF WATER MAIN QUALITY PIPE.
- WATER MAINS SHALL CROSS ABOVE SEWERS WITH A MINIMUM VERTICAL SEPARATION OF 18 INCHES WHILE STILL MAINTAINING THE REQUIRED DEPTH OF COVER. IF PROPER SEPARATION IS NOT POSSIBLE, OR IF THE WATER MAIN MUST BE ROUTED UNDER THE SEWER, THE SEWER SHALL BE CONSTRUCTED OF WATER MAIN QUALITY PIPE.
- WATER FOR USE IN CONSTRUCTION ACTIVITIES THAT IS OBTAINED FROM CITY FIRE HYDRANTS SHALL BE OBTAINED USING A BACKFLOW PREVENTER THAT IS PROVIDED BY CITY OF MT. PLEASANT.
- ALL UTILITY TRENCHES SHALL BE BACKFILLED WITH CLASS A STONE AND GRANULAR MATERIAL WHERE THE TRENCH IS UNDER OR WITHIN 2 FEET OF EXISTING OR PROPOSED CURB & GUTTER, SIDEWALK OR PAVEMENT.
- CONTRACTOR SHALL COORDINATE WITH CITY OF MT. PLEASANT TO DETERMINE INSTALLATION REQUIREMENTS AND MATERIALS TO BE USED.
- SUDAS DIVISION 5: WATER MAINS AND APPURTENANCES SECTION 5010: PIPE AND FITTINGS SECTION 5020: VALVES, FIRE HYDRANTS AND APPURTENANCES SECTION 5030: TESTING AND DISINFECTION

CONTROL POINTS			
Point#	Northing	Easting	Description
CP #200	561781.773	2410659.002	CP/ SPIKE
CP #201	561591.752	2410954.089	CP/ SPIKE
CP #202	561782.503	2411285.671	CP/ SPIKE
CP #203	561403.875	2411216.026	CP/ SPIKE
CP #204	561797.576	2410606.986	CP/ MAG

BENCHMARKS	
Point#	DESCRIPTION
BM # 1	SPIKE ELEVATION= 759.28
BM # 2	SPIKE ELEVATION= 755.45
BM # 3	SPIKE ELEVATION= 764.65
BM # 4	SPIKE ELEVATION= 756.21
BM # 5	MAG ELEVATION= 757.44

LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED
	EXISTING		PROPOSED
	EXISTING		PROPOSED

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Engineers Architects Land Surveyors

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309.343.9282

308 North 3rd Street
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319.752.9282

835 Golden Valley Drive
Bettendorf, Iowa 52722
563.355.1856

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SITE IMPROVEMENT PLANS

**HIGHWAY 61 AND 110TH AVENUE
DAVENPORT, IOWA
SCOTT COUNTY**

- ISSUE RECORD -

NO.	DATE	DESCRIPTION

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R REVISION
B BID DOCUMENTS
A FOR CONSTRUCTION RECORD DOCUMENTS

**GENERAL NOTES
ADN LEGEND**

C2

T:\2024\PROJECTS\0023227-3 WEST DAVENPORT SITE DESIGN - JIM ABBITT\DESIGN\DRAWINGS\PRODUCTION\0023227-3 EX CONDITIONS - REMOVAL.DWG

Emma Taylor

2/12/2024 9:06:09 AM



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Engineers Architects Land Surveyors

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Galesburg, Illinois 61401
309.343.9282

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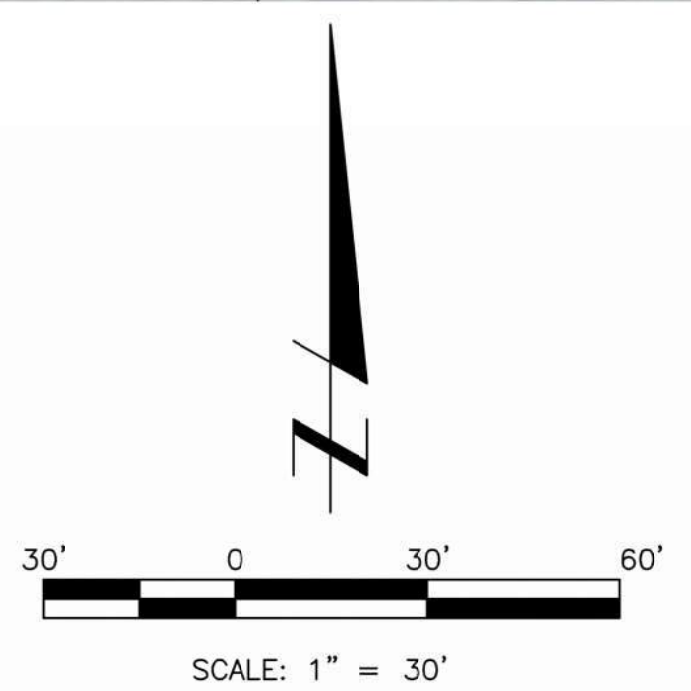
NO.	DATE	DESCRIPTION

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R REVISION
B BID DOCUMENTS
C FOR CONSTRUCTION
A RECORD DOCUMENTS

EXISTING
CONDITIONS
AND REMOVAL

C3

2023227-3 02-12-2024





SITE IMPROVEMENT PLANS

HIGHWAY 61 AND 110TH AVENUE
DAVENPORT, IOWA
SCOTT COUNTY

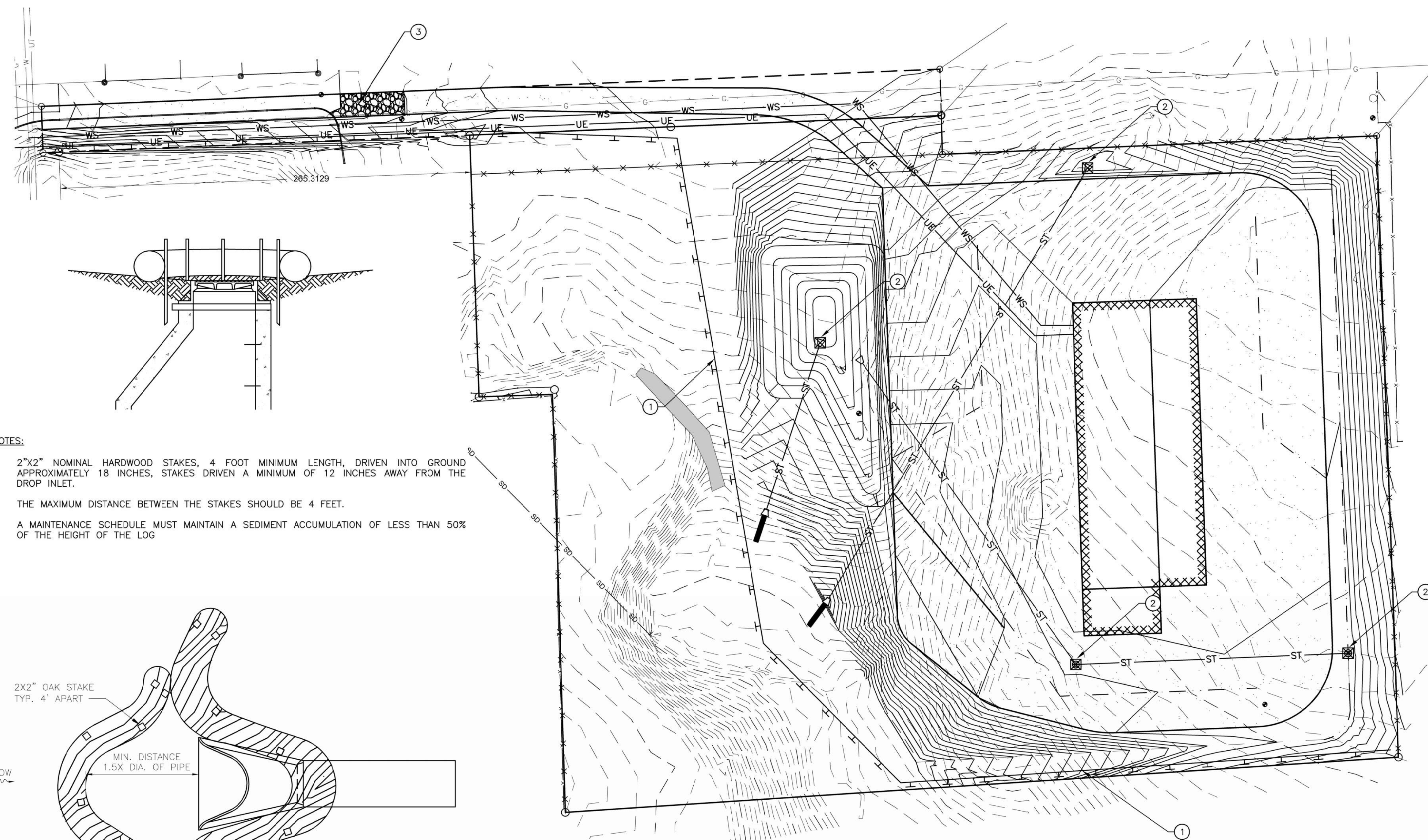
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NO.	DATE	DESCRIPTION

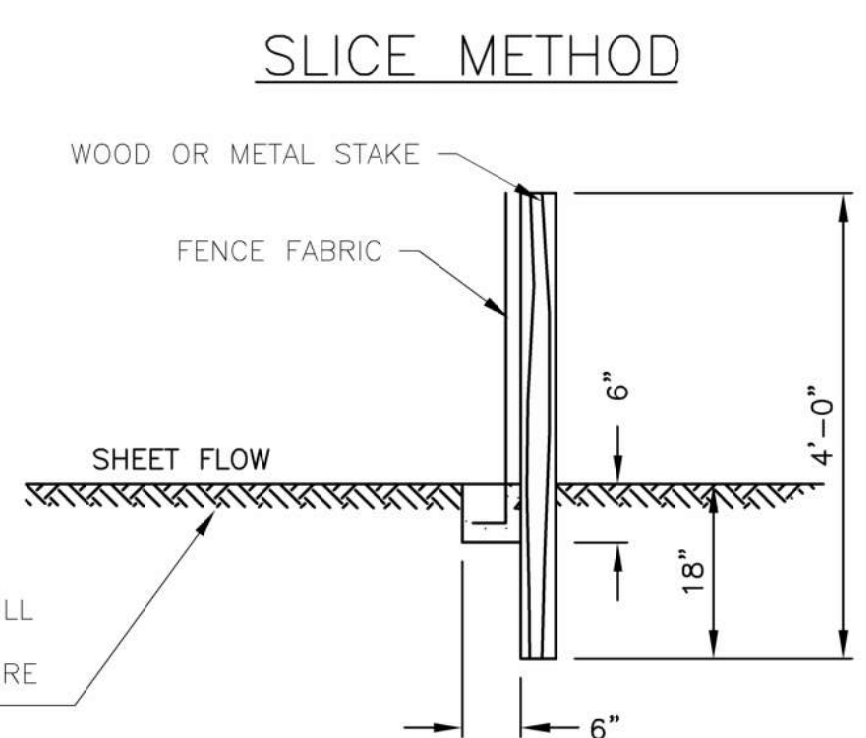
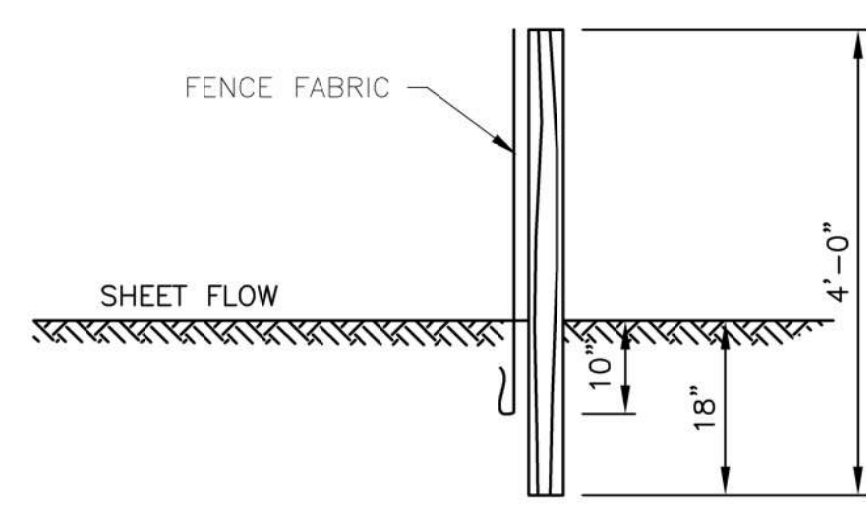
NO.	DATE	DESCRIPTION
P		PRELIMINARY
R		REVISION
B		BID DOCUMENTS
C		FOR CONSTRUCTION
A		RECORD DOCUMENTS

EROSION AND SEDIMENT CONTROL

C4

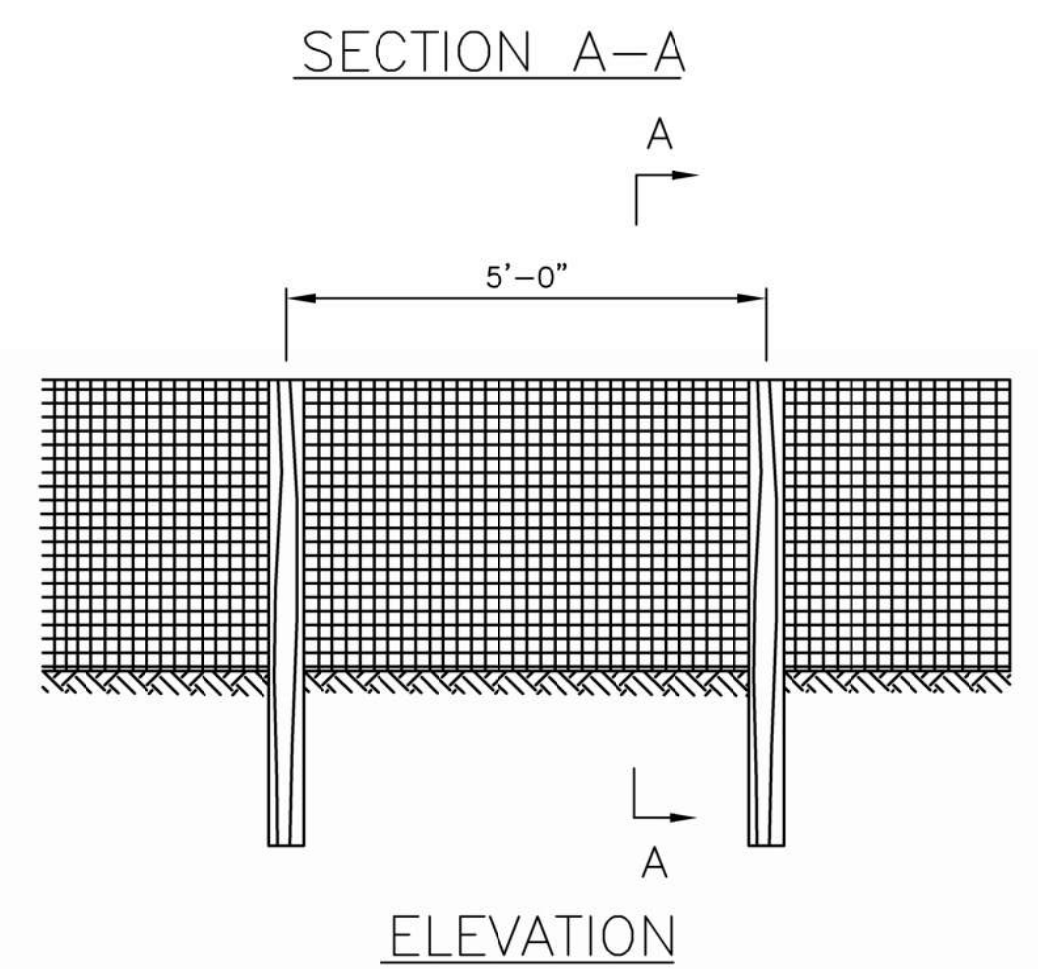


- NOTES:**
1. 2"x2" NOMINAL HARDWOOD STAKES, 4 FOOT MINIMUM LENGTH, DRIVEN INTO GROUND APPROXIMATELY 18 INCHES, STAKES DRIVEN A MINIMUM OF 12 INCHES AWAY FROM THE DROP INLET.
 2. THE MAXIMUM DISTANCE BETWEEN THE STAKES SHOULD BE 4 FEET.
 3. A MAINTENANCE SCHEDULE MUST MAINTAIN A SEDIMENT ACCUMULATION OF LESS THAN 50% OF THE HEIGHT OF THE LOG

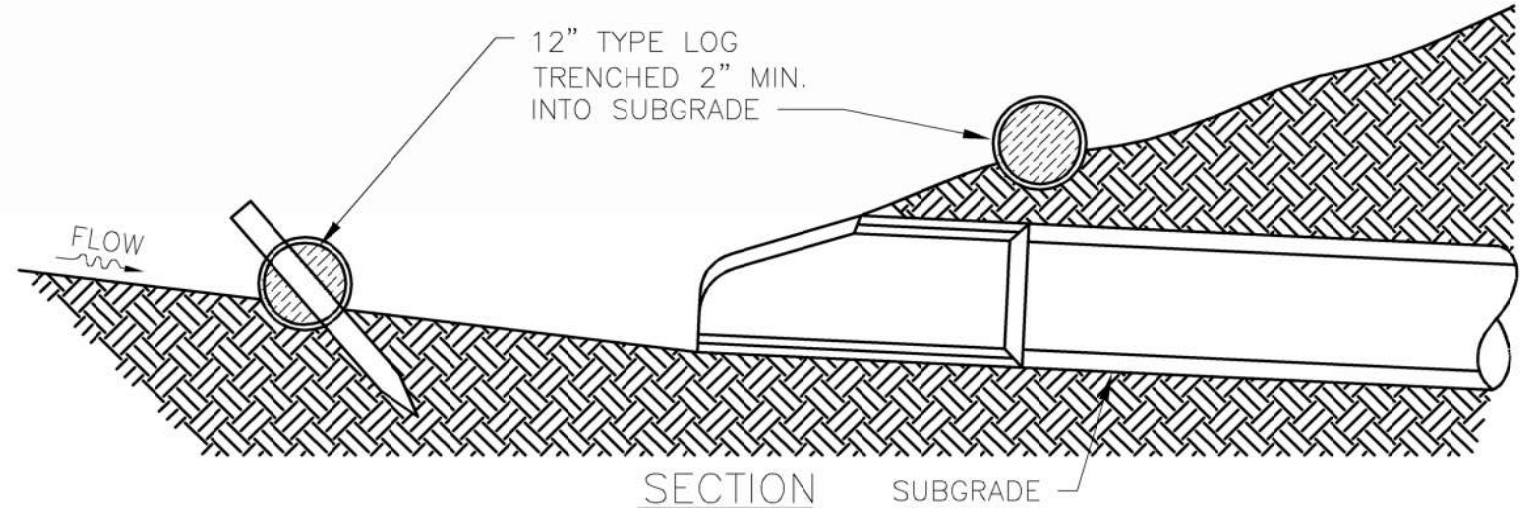
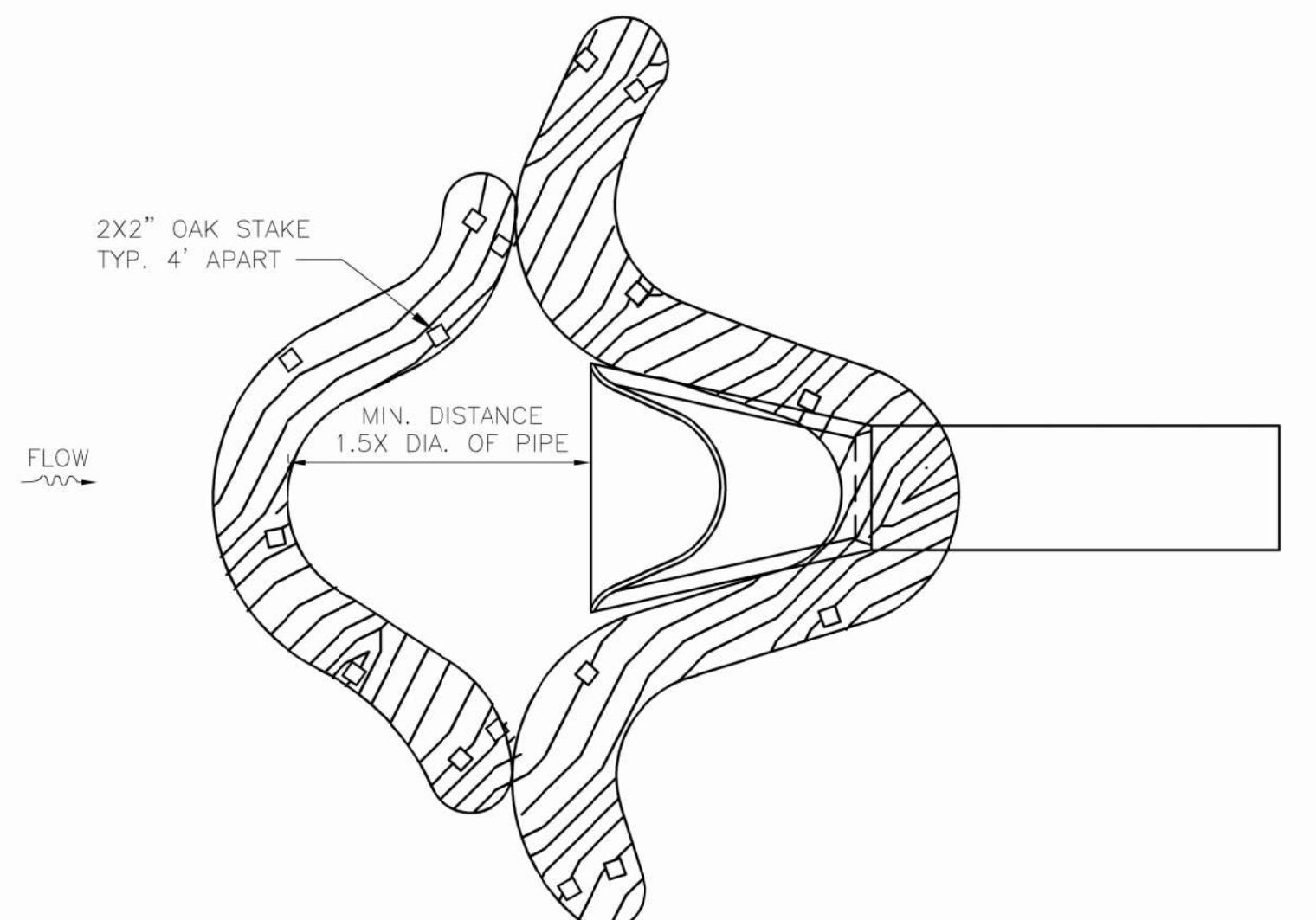


EXCAVATE, BACKFILL AND COMPACT TRENCH TO SECURE FABRIC

SECTION A-A



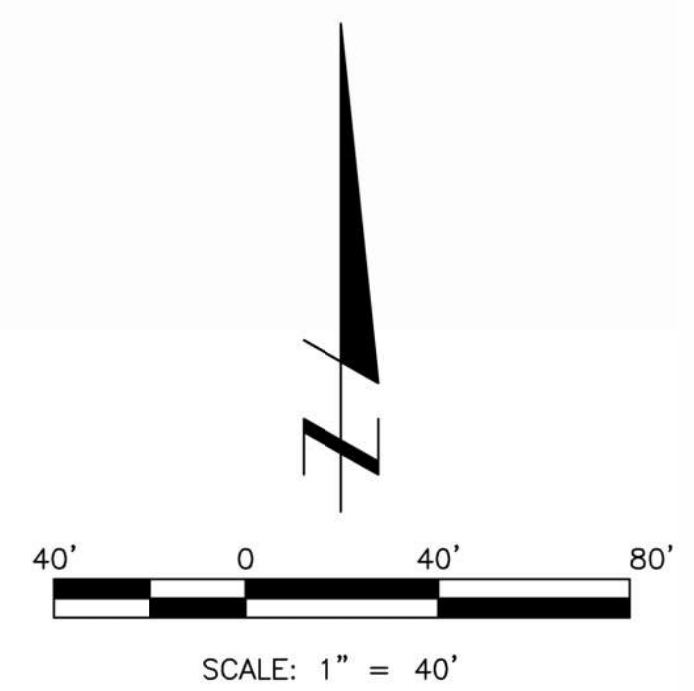
SILT FENCE PERIMETER EROSION BARRIER
SCALE: NONE



EROSION CONTROL LEGEND

	1 PERIMETER EROSION BARRIER
	2 INLET & PIPE PROTECTION
	3 TEMPORARY CONSTRUCTION ENTRANCE

- NOTES:**
1. USE #2 STONE MINIMUM. MINIMUM 20' WIDTH. MINIMUM 12" THICK.
 2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND/OR REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 3. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS DONE, IT SHALL BE DONE IN AN AREA STABILIZED WITH STONE AND WHICH DRAINS TO AN APPROVED SEDIMENT TRAPPING DEVICE.
 4. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO A PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 5. ACCESS PERMIT TO PUBLIC ROADS MUST BE OBTAINED PRIOR TO CONSTRUCTION.
 6. MINIMUM ROAD WIDTH SHALL BE 20'-0".





SITE IMPROVEMENT PLANS

HIGHWAY 61 AND 110TH AVENUE
DAVENPORT, IOWA
SCOTT COUNTY

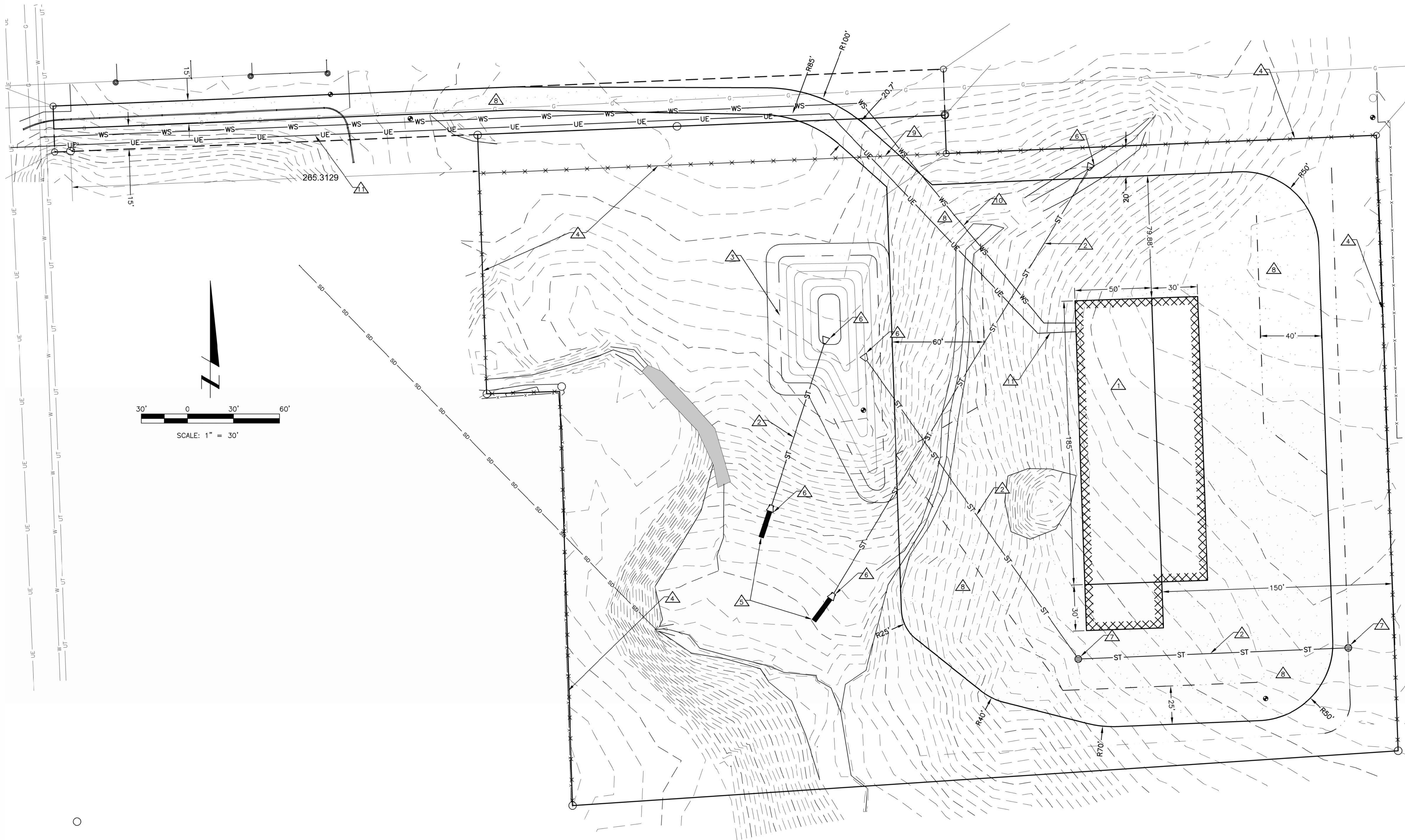
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SITE PLAN

C5



SITE PLAN NOTES (Δ'S):

1. PROPOSED 185' X 50' BUILDING.
2. PROPOSED HDPE STORM SEWER - SEE GRADING PLAN.
3. PROPOSED STORM WATER DETENTION POND - SEE GRADING PLAN.
4. PROPOSED 6" BLACK CHAIN LINK FENCE.
5. PROPOSED RIP RAP.
6. PROPOSED FLARED END SECTION.
7. PROPOSED STORM INLET.
8. PROPOSED AGGREGATE PAVEMENT.
9. PROPOSED AUTOMATED SLIDE GATE.
10. PROPOSED 2 INCH WATER SERVICE TO BE INSTALLED.
11. PROPOSED UNDERGROUND ELECTRIC TO BE INSTALLED.

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SITE IMPROVEMENT PLANS

HIGHWAY 61 AND 110TH AVENUE
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SCOTT COUNTY

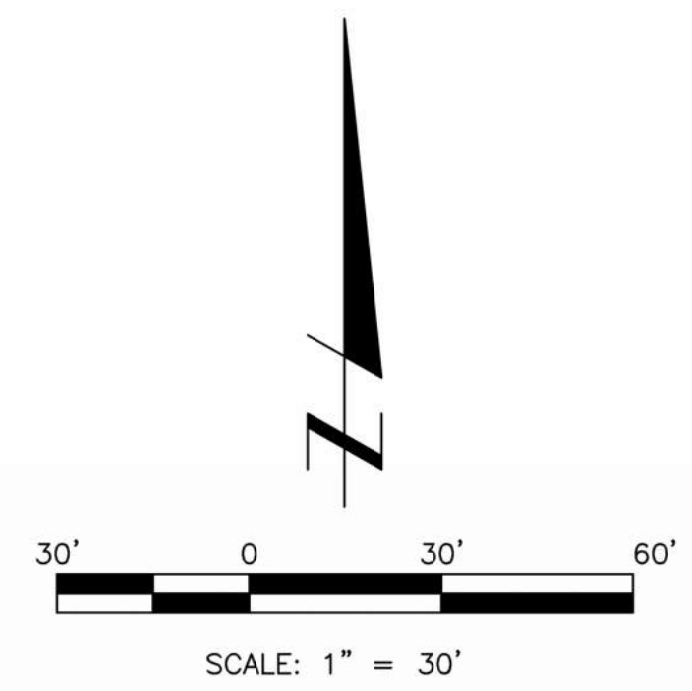
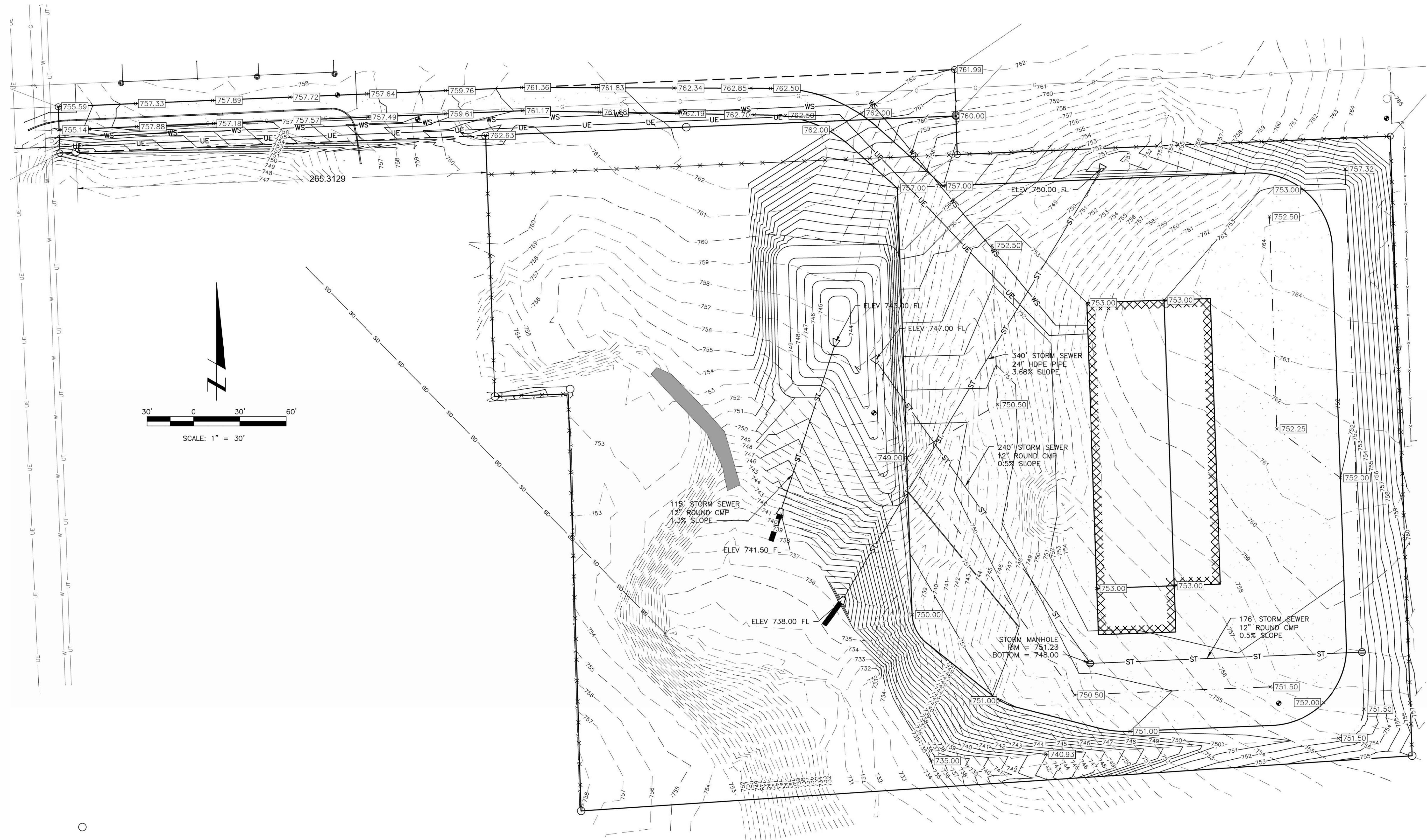
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GRADING AND UTILITIES

C6

2023227-3 02-12-2024

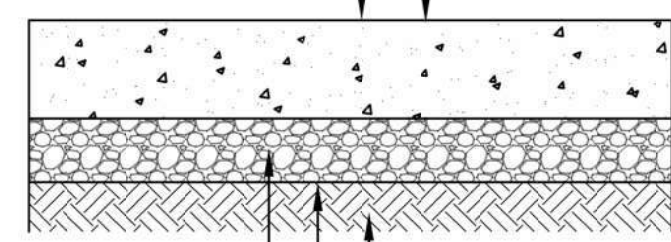


T:\2023\PROJECTS\0023227-3 WEST DAVENPORT SITE DESIGN - JIM ABBITT\DESIGN\DRAWINGS\PRODUCTION\0023227-3 GRADING AND UTILITIES.DWG

Emma Taylor

2/10/2024 11:07:51 AM

PORTLAND CEMENT CONCRETE PAVEMENT, 7" THICKNESS, PER IOWA DOT STANDARD SPECIFICATIONS IN DIVISION 41, SECTION 4101. C3 MIX, CLASS 3 DURABILITY AGG.



CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI @ 28 DAYS

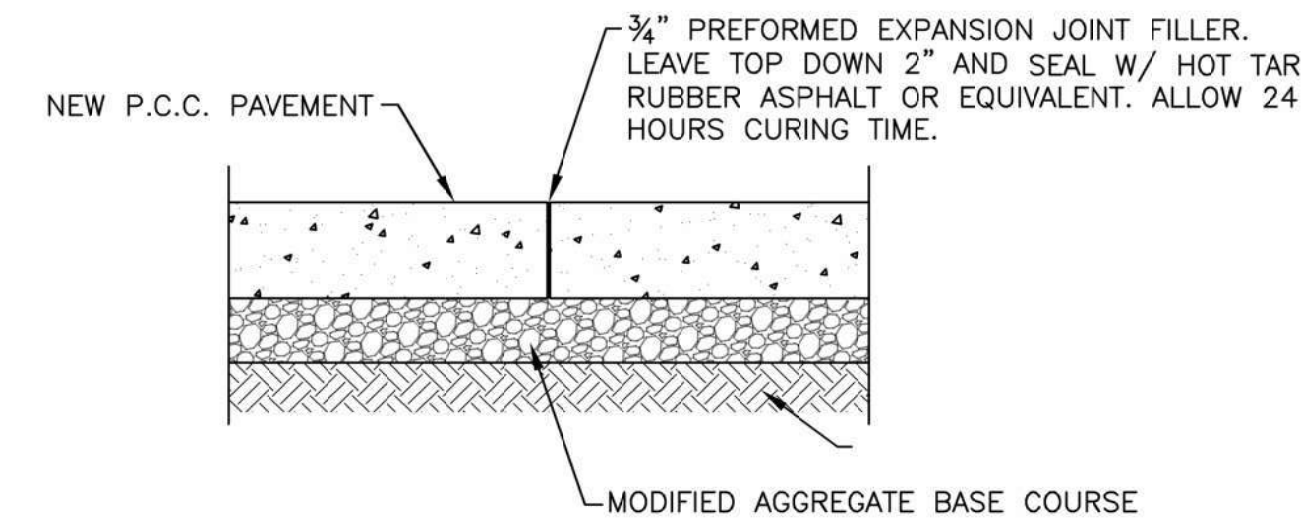
MODIFIED AGGREGATE BASE COURSE, 6" COMPACTED THICKNESS TO 98% DENSITY PER IOWA DOT STANDARD SPECIFICATIONS IN DIVISION 41, SECTION 4121 OR EQUAL

COMPACT 12" SUBGRADE TO 98% OF STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698)

IN AREAS OF PAVEMENT SUBGRADES THAT DO NOT RESPOND TO PROOF ROLLING, USE GEOTEXTILE FABRIC; MIRAFI 160N OR EQUIVALENT UNDER SUBBASE.

CONCRETE PAVEMENT DETAIL

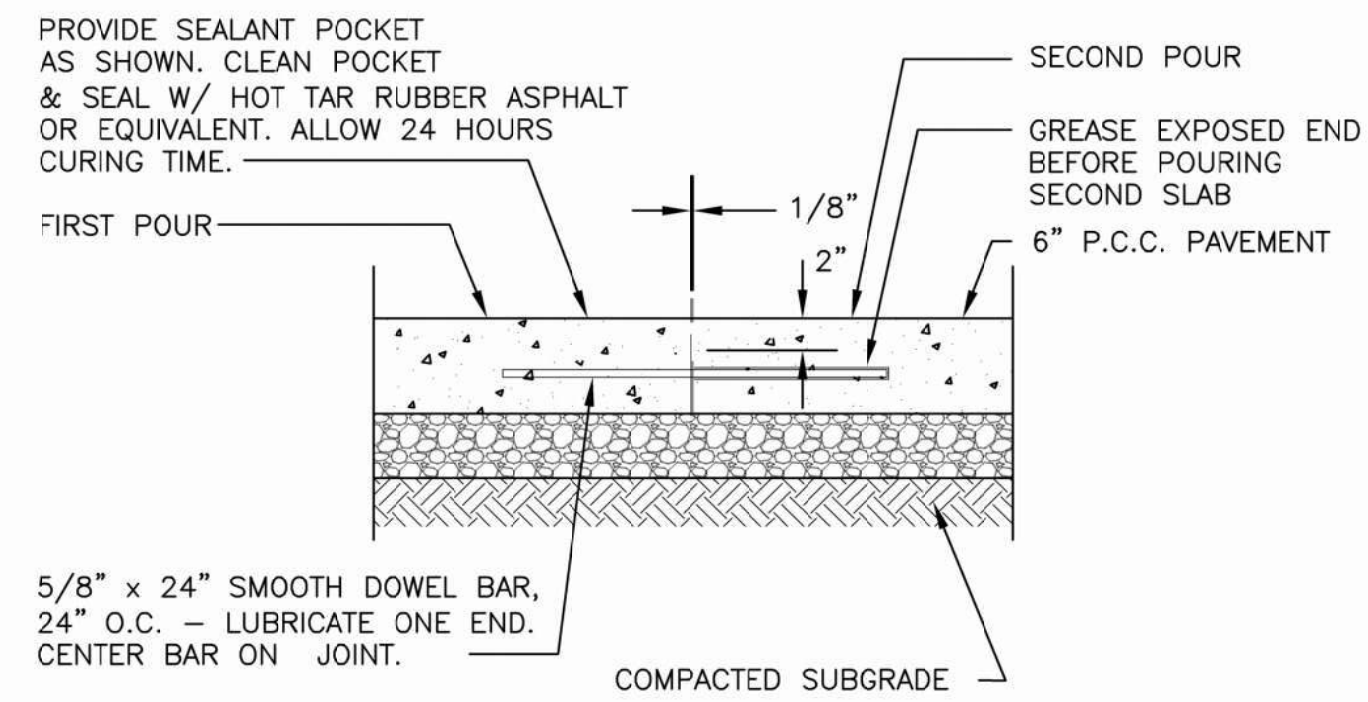
SCALE: NONE



EXPANSION JOINT DETAIL

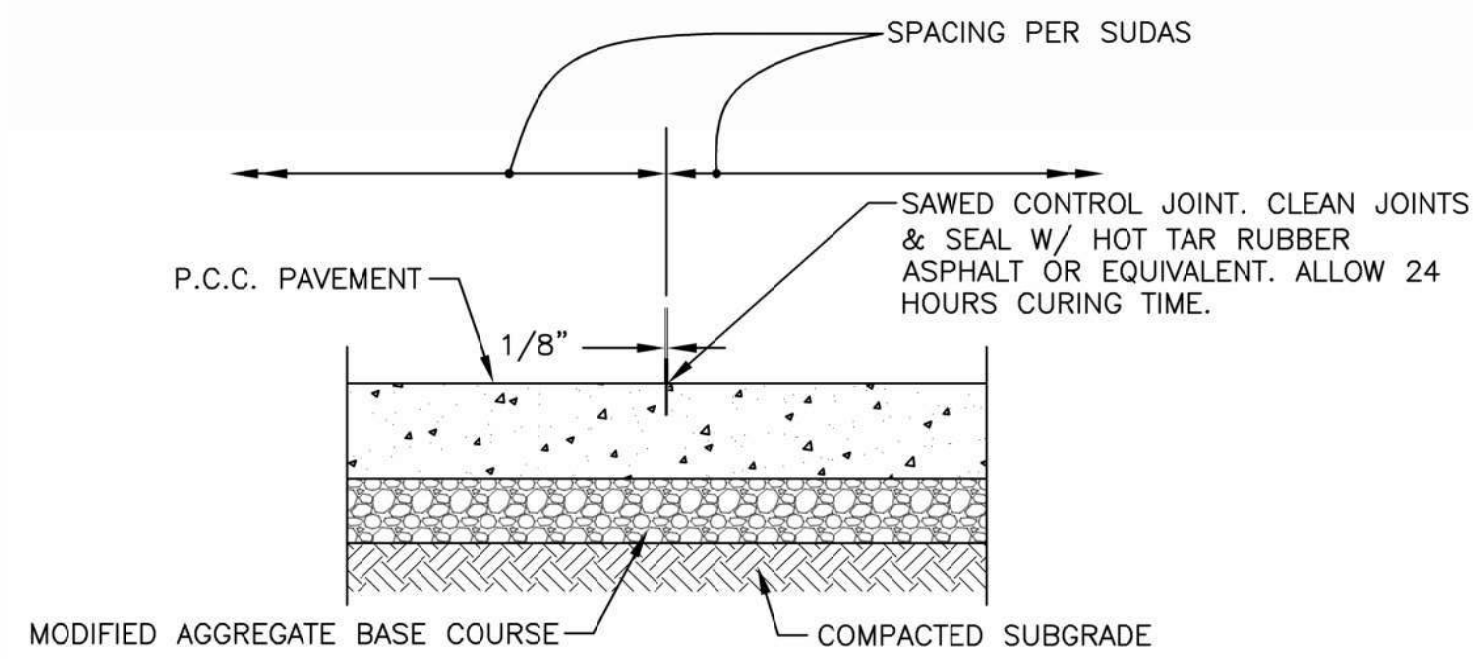
SCALE: NONE

NOTE: ALL JOINTING TO BE ACCORDING TO SUDAS SPECIFICATIONS AND CLIENT'S REQUIREMENTS.



CONTROL JOINT DETAIL

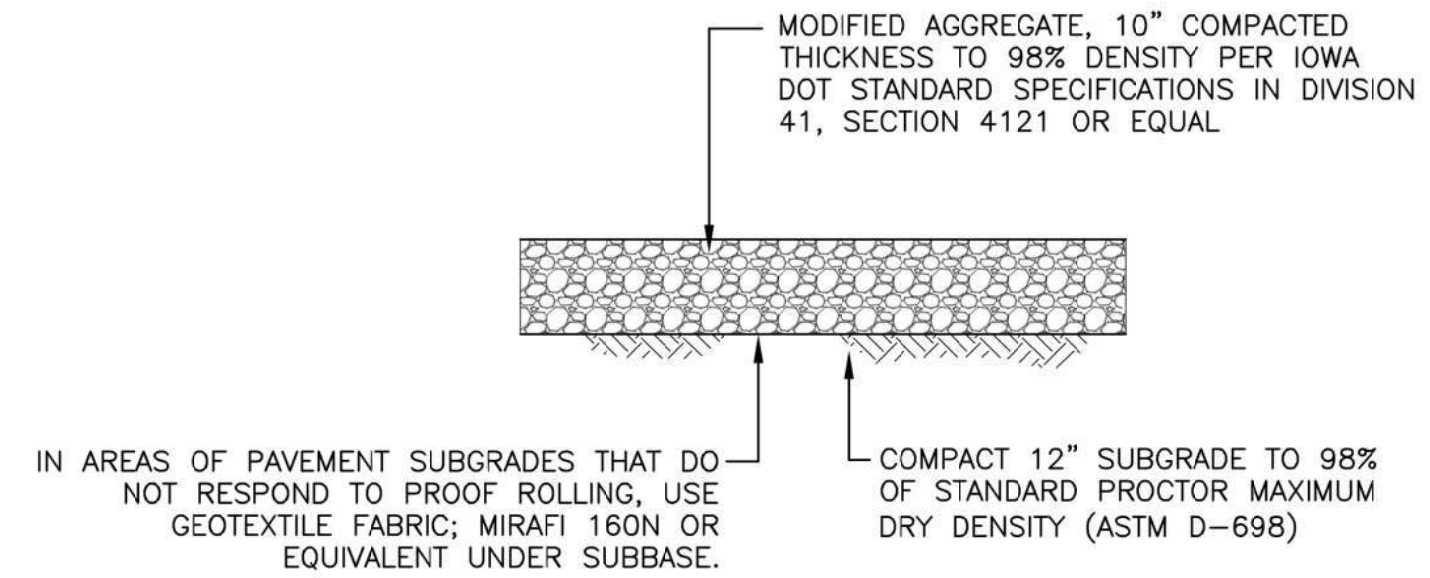
SCALE: NONE



CONSTRUCTION JOINT DETAIL

SCALE: NONE

NOTE: ALL JOINTING TO BE ACCORDING TO SUDAS SPECIFICATIONS AND CLIENT'S REQUIREMENTS.



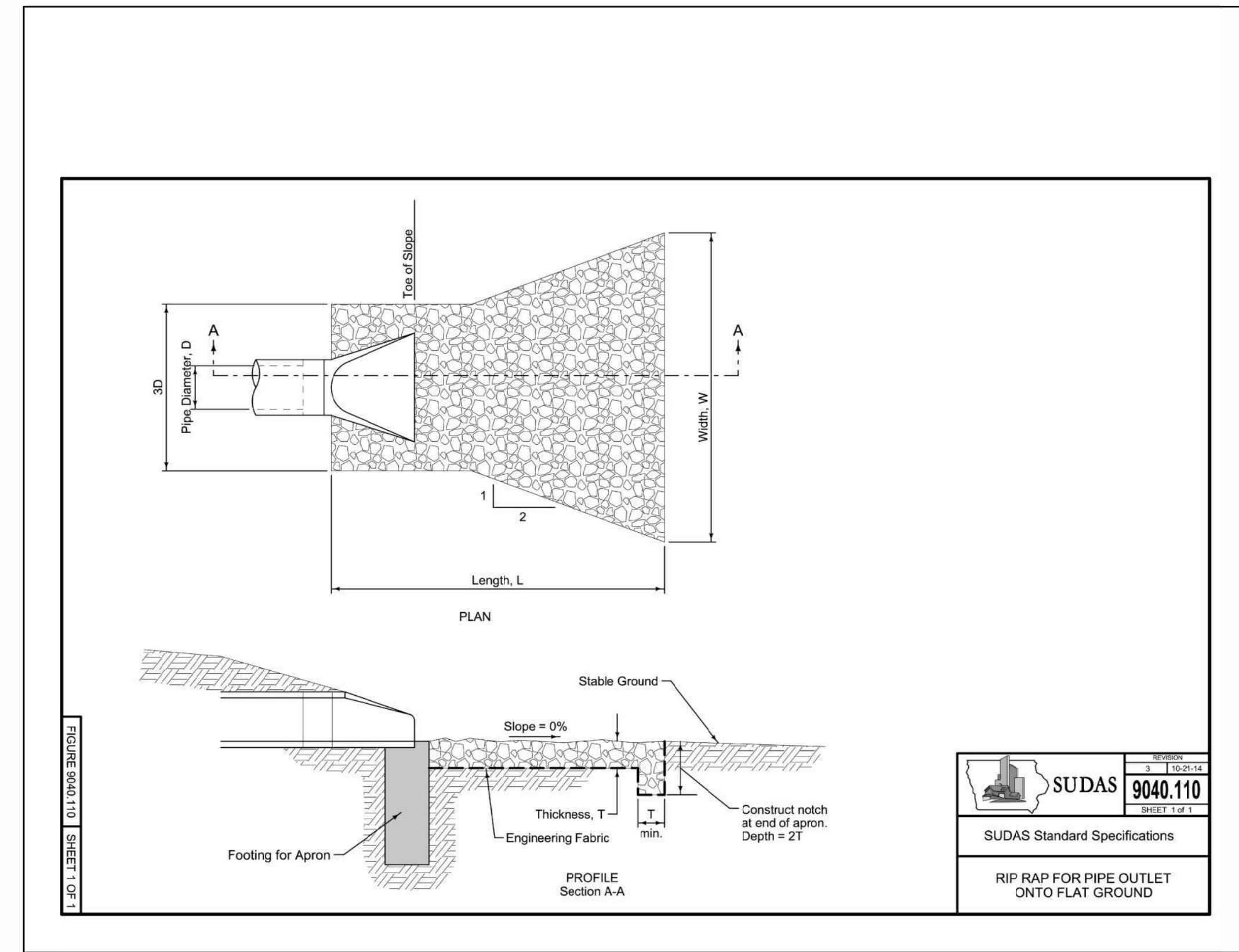
AGGREGATE PAVEMENT

SCALE: NONE

IN AREAS OF PAVEMENT SUBGRADES THAT DO NOT RESPOND TO PROOF ROLLING, USE GEOTEXTILE FABRIC; MIRAFI 160N OR EQUIVALENT UNDER SUBBASE.

COMPACT 12" SUBGRADE TO 98% OF STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698)

MODIFIED AGGREGATE, 10" COMPACTED THICKNESS TO 98% DENSITY PER IOWA DOT STANDARD SPECIFICATIONS IN DIVISION 41, SECTION 4121 OR EQUAL



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Galesburg, Illinois 61401
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SITE IMPROVEMENT PLANS

HIGHWAY 61 AND 110TH AVENUE
DAVENPORT, IOWA
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DETAILS

C7

2023227-3

02-12-2024

Summary for Subcatchment 1S: Existing Lot

Runoff = 6.35 cfs @ 0.53 hrs, Volume= 0.280 af, Depth= 0.63"

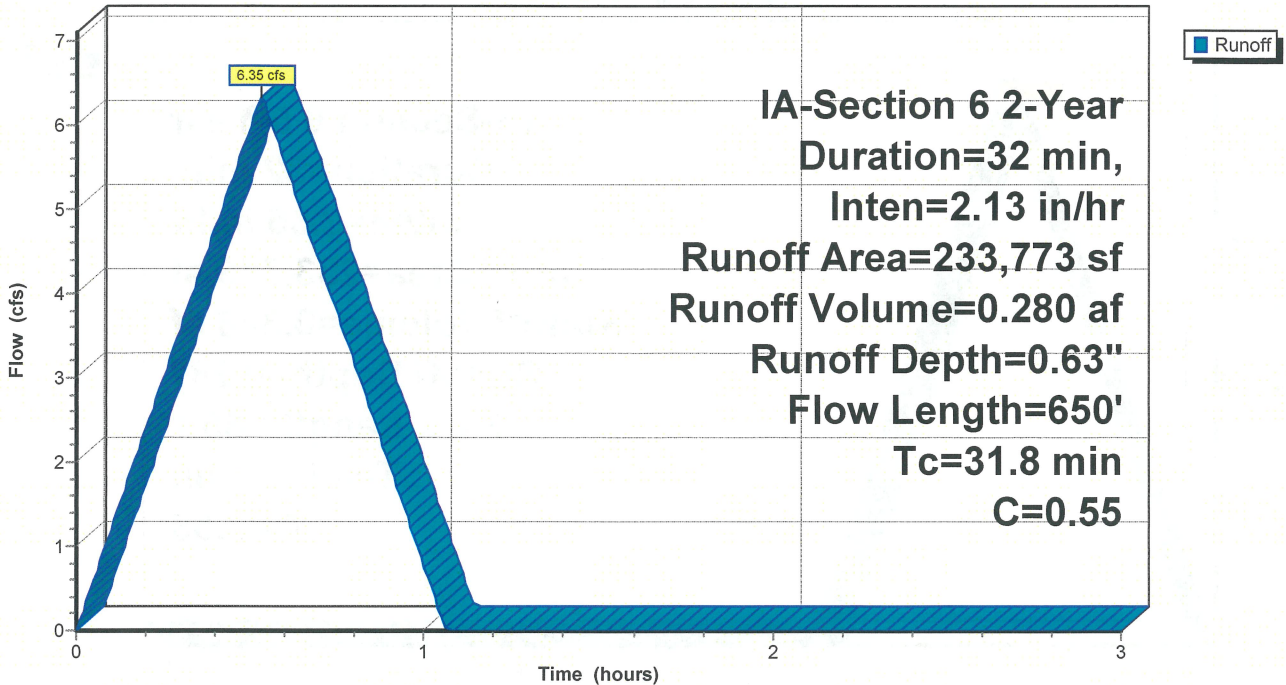
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
 IA-Section 6 2-Year Duration=32 min, Inten=2.13 in/hr

Area (sf)	C	Description
233,773	0.55	Wooded Area
233,773		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
22.6	100	0.0200	0.07		Sheet Flow, First 100 FT Woods: Light underbrush n= 0.400 P2= 2.88"
9.2	550	0.0400	1.00		Shallow Concentrated Flow, Flow from NE corner South Woodland Kv= 5.0 fps
31.8	650	Total			

Subcatchment 1S: Existing Lot

Hydrograph



Summary for Subcatchment 1S: Existing Lot

Runoff = 7.90 cfs @ 0.53 hrs, Volume= 0.348 af, Depth= 0.78"

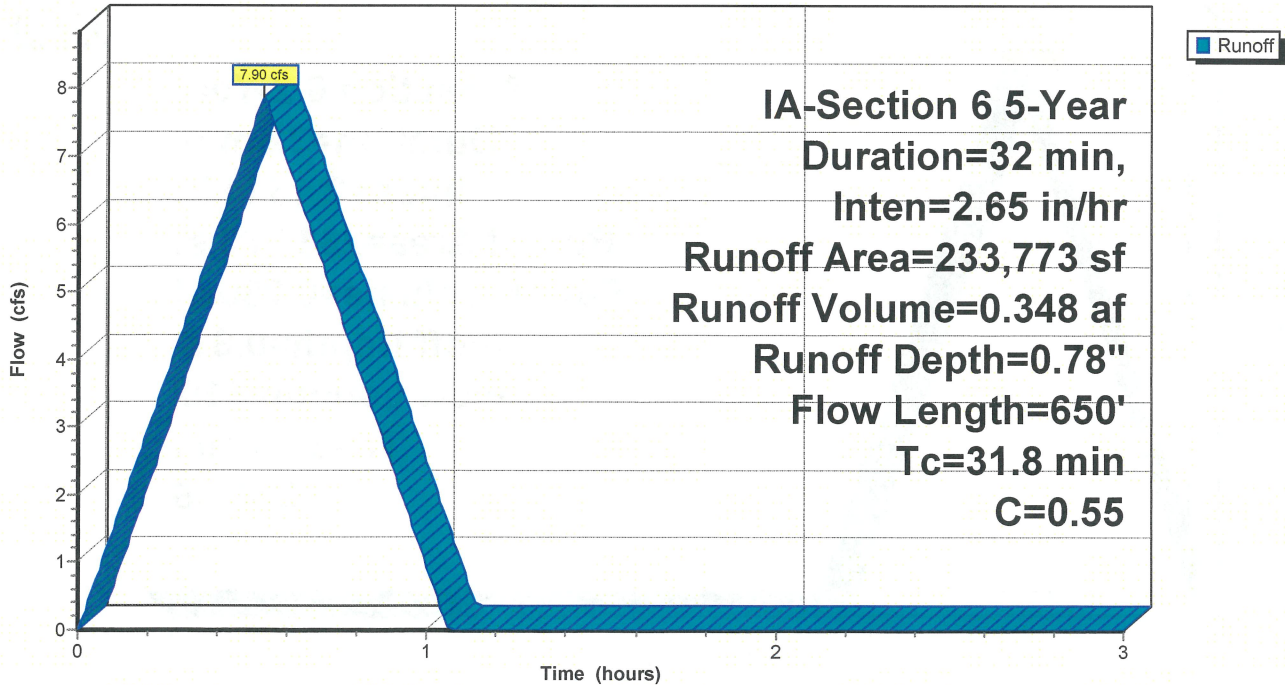
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
 IA-Section 6 5-Year Duration=32 min, Inten=2.65 in/hr

Area (sf)	C	Description
233,773	0.55	Wooded Area
233,773		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
22.6	100	0.0200	0.07		Sheet Flow, First 100 FT Woods: Light underbrush n= 0.400 P2= 2.88"
9.2	550	0.0400	1.00		Shallow Concentrated Flow, Flow from NE corner South Woodland Kv= 5.0 fps
31.8	650	Total			

Subcatchment 1S: Existing Lot

Hydrograph



Summary for Pond 9P: Detention Pond

[44] Hint: Outlet device #1 is below defined storage

Inflow Area = 2.887 ac, 72.85% Impervious, Inflow Depth = 0.61" for 2-Year event
 Inflow = 7.58 cfs @ 0.21 hrs, Volume= 0.146 af
 Outflow = 5.34 cfs @ 0.26 hrs, Volume= 0.146 af, Atten= 30%, Lag= 3.3 min
 Primary = 5.34 cfs @ 0.26 hrs, Volume= 0.146 af

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 Peak Elev= 745.49' @ 0.26 hrs Surf.Area= 1,648 sf Storage= 1,627 cf

Plug-Flow detention time= (not calculated: outflow precedes inflow)
 Center-of-Mass det. time= 3.2 min (14.1 - 10.9)

Volume	Invert	Avail.Storage	Storage Description
#1	744.00'	15,889 cf	Custom Stage Data (Prismatic) Listed below

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
744.00	477	0	0
745.00	1,148	813	813
746.00	2,164	1,656	2,469
747.00	3,524	2,844	5,313
748.00	5,226	4,375	9,688
749.00	7,177	6,202	15,889

Device	Routing	Invert	Outlet Devices
#1	Primary	743.00'	12.0" Round Culvert L= 75.0' Ke= 0.500 Inlet / Outlet Invert= 743.00' / 741.50' S= 0.0200 '/' Cc= 0.900 n= 0.013, Flow Area= 0.79 sf

Primary OutFlow Max=5.33 cfs @ 0.26 hrs HW=745.49' (Free Discharge)
 ↑**1=Culvert** (Inlet Controls 5.33 cfs @ 6.79 fps)

Summary for Pond 9P: Detention Pond

[44] Hint: Outlet device #1 is below defined storage

Inflow Area = 2.887 ac, 72.85% Impervious, Inflow Depth = 1.10" for 5-Year event
 Inflow = 6.43 cfs @ 0.21 hrs, Volume= 0.266 af
 Outflow = 5.71 cfs @ 0.51 hrs, Volume= 0.266 af, Atten= 11%, Lag= 18.1 min
 Primary = 5.71 cfs @ 0.51 hrs, Volume= 0.266 af

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 Peak Elev= 745.78' @ 0.51 hrs Surf.Area= 1,943 sf Storage= 2,108 cf

Plug-Flow detention time= 4.1 min calculated for 0.266 af (100% of inflow)
 Center-of-Mass det. time= 4.1 min (23.0 - 18.9)

Volume	Invert	Avail.Storage	Storage Description
#1	744.00'	15,889 cf	Custom Stage Data (Prismatic) Listed below

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
744.00	477	0	0
745.00	1,148	813	813
746.00	2,164	1,656	2,469
747.00	3,524	2,844	5,313
748.00	5,226	4,375	9,688
749.00	7,177	6,202	15,889

Device	Routing	Invert	Outlet Devices
#1	Primary	743.00'	12.0" Round Culvert L= 75.0' Ke= 0.500 Inlet / Outlet Invert= 743.00' / 741.50' S= 0.0200 '/' Cc= 0.900 n= 0.013, Flow Area= 0.79 sf

Primary OutFlow Max=5.71 cfs @ 0.51 hrs HW=745.78' (Free Discharge)
 ↑**1=Culvert** (Inlet Controls 5.71 cfs @ 7.27 fps)

Summary for Pond 9P: Detention Pond

[44] Hint: Outlet device #1 is below defined storage

Inflow Area = 2.887 ac, 72.85% Impervious, Inflow Depth = 0.99" for 10-Year event
 Inflow = 9.64 cfs @ 0.22 hrs, Volume= 0.239 af
 Outflow = 6.30 cfs @ 0.34 hrs, Volume= 0.239 af, Atten= 35%, Lag= 7.0 min
 Primary = 6.30 cfs @ 0.34 hrs, Volume= 0.239 af

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 Peak Elev= 746.35' @ 0.34 hrs Surf.Area= 2,637 sf Storage= 3,457 cf

Plug-Flow detention time= 5.7 min calculated for 0.239 af (100% of inflow)
 Center-of-Mass det. time= 5.7 min (18.6 - 12.9)

Volume	Invert	Avail.Storage	Storage Description
#1	744.00'	15,889 cf	Custom Stage Data (Prismatic) Listed below

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
744.00	477	0	0
745.00	1,148	813	813
746.00	2,164	1,656	2,469
747.00	3,524	2,844	5,313
748.00	5,226	4,375	9,688
749.00	7,177	6,202	15,889

Device	Routing	Invert	Outlet Devices
#1	Primary	743.00'	12.0" Round Culvert L= 75.0' Ke= 0.500 Inlet / Outlet Invert= 743.00' / 741.50' S= 0.0200 '/' Cc= 0.900 n= 0.013, Flow Area= 0.79 sf

Primary OutFlow Max=6.30 cfs @ 0.34 hrs HW=746.35' (Free Discharge)
 ↑**1=Culvert** (Barrel Controls 6.30 cfs @ 8.02 fps)

Summary for Pond 9P: Detention Pond

[44] Hint: Outlet device #1 is below defined storage

Inflow Area = 2.887 ac, 72.85% Impervious, Inflow Depth = 1.55" for 25-Year event
 Inflow = 9.04 cfs @ 0.21 hrs, Volume= 0.373 af
 Outflow = 6.69 cfs @ 0.53 hrs, Volume= 0.373 af, Atten= 26%, Lag= 19.1 min
 Primary = 6.69 cfs @ 0.53 hrs, Volume= 0.373 af

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 Peak Elev= 746.84' @ 0.53 hrs Surf.Area= 3,311 sf Storage= 4,866 cf

Plug-Flow detention time= 7.6 min calculated for 0.373 af (100% of inflow)
 Center-of-Mass det. time= 7.6 min (26.5 - 18.9)

Volume	Invert	Avail.Storage	Storage Description
#1	744.00'	15,889 cf	Custom Stage Data (Prismatic) Listed below

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
744.00	477	0	0
745.00	1,148	813	813
746.00	2,164	1,656	2,469
747.00	3,524	2,844	5,313
748.00	5,226	4,375	9,688
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Device	Routing	Invert	Outlet Devices
#1	Primary	743.00'	12.0" Round Culvert L= 75.0' Ke= 0.500 Inlet / Outlet Invert= 743.00' / 741.50' S= 0.0200 '/' Cc= 0.900 n= 0.013, Flow Area= 0.79 sf

Primary OutFlow Max=6.69 cfs @ 0.53 hrs HW=746.84' (Free Discharge)
 ↑1=Culvert (Barrel Controls 6.69 cfs @ 8.52 fps)

Summary for Pond 9P: Detention Pond

[44] Hint: Outlet device #1 is below defined storage
 [79] Warning: Submerged Pond 4P Primary device # 1 OUTLET by 0.24'

Inflow Area = 2.887 ac, 72.85% Impervious, Inflow Depth = 1.76" for 50-Year event
 Inflow = 10.25 cfs @ 0.21 hrs, Volume= 0.423 af
 Outflow = 6.99 cfs @ 0.53 hrs, Volume= 0.424 af, Atten= 32%, Lag= 19.4 min
 Primary = 6.99 cfs @ 0.53 hrs, Volume= 0.424 af

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 Peak Elev= 747.24' @ 0.53 hrs Surf.Area= 3,939 sf Storage= 6,379 cf

Plug-Flow detention time= 9.3 min calculated for 0.423 af (100% of inflow)
 Center-of-Mass det. time= 9.3 min (28.3 - 18.9)

Volume	Invert	Avail.Storage	Storage Description
#1	744.00'	15,889 cf	Custom Stage Data (Prismatic) Listed below

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
744.00	477	0	0
745.00	1,148	813	813
746.00	2,164	1,656	2,469
747.00	3,524	2,844	5,313
748.00	5,226	4,375	9,688
749.00	7,177	6,202	15,889

Device	Routing	Invert	Outlet Devices
#1	Primary	743.00'	12.0" Round Culvert L= 75.0' Ke= 0.500 Inlet / Outlet Invert= 743.00' / 741.50' S= 0.0200 '/' Cc= 0.900 n= 0.013, Flow Area= 0.79 sf

Primary OutFlow Max=6.99 cfs @ 0.53 hrs HW=747.24' (Free Discharge)
 ↑**1=Culvert** (Barrel Controls 6.99 cfs @ 8.90 fps)

Summary for Pond 9P: Detention Pond

[44] Hint: Outlet device #1 is below defined storage
 [79] Warning: Submerged Pond 4P Primary device # 1 OUTLET by 0.63'

Inflow Area = 2.887 ac, 72.85% Impervious, Inflow Depth = 1.98" for 100-Year event
 Inflow = 11.53 cfs @ 0.21 hrs, Volume= 0.476 af
 Outflow = 7.27 cfs @ 0.54 hrs, Volume= 0.477 af, Atten= 37%, Lag= 19.8 min
 Primary = 7.27 cfs @ 0.54 hrs, Volume= 0.477 af

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 Peak Elev= 747.63' @ 0.54 hrs Surf.Area= 4,600 sf Storage= 8,078 cf

Plug-Flow detention time= 11.2 min calculated for 0.476 af (100% of inflow)
 Center-of-Mass det. time= 11.2 min (30.1 - 18.9)

Volume	Invert	Avail.Storage	Storage Description
#1	744.00'	15,889 cf	Custom Stage Data (Prismatic) Listed below

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
744.00	477	0	0
745.00	1,148	813	813
746.00	2,164	1,656	2,469
747.00	3,524	2,844	5,313
748.00	5,226	4,375	9,688
749.00	7,177	6,202	15,889

Device	Routing	Invert	Outlet Devices
#1	Primary	743.00'	12.0" Round Culvert L= 75.0' Ke= 0.500 Inlet / Outlet Invert= 743.00' / 741.50' S= 0.0200 '/' Cc= 0.900 n= 0.013, Flow Area= 0.79 sf

Primary OutFlow Max=7.27 cfs @ 0.54 hrs HW=747.63' (Free Discharge)
 ↑**1=Culvert** (Barrel Controls 7.27 cfs @ 9.26 fps)

**STORM WATER POLLUTION PREVENTION PLAN (SWPPP)
FOR
CONSTRUCTION ACTIVITY**

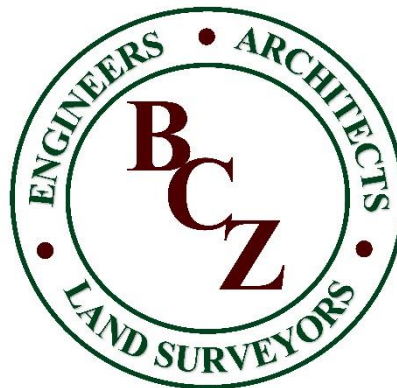
NPDES GENERAL PERMIT #2

**TAYLOR RIDGE PAVING
DAVENPORT YARD
WEST DAVENPORT SITE DESIGN**

Prepared by:

BRUNER, COOPER & ZUCK, INC.

Engineers ♦ Architects ♦ Land Surveyors
188 East Simmons Street, Galesburg, Illinois 61401
308 North 3rd Street, Burlington, Iowa 52601
835 Golden Valley Drive, Bettendorf, Iowa 52722



Project No. 2023227-3
January 23, 2024
Revised January 23, 2024

CONTACT LIST

GENERAL CONTRACTOR:

Taylor Ridge Paving & Construction
Chris Dowell, Operations Manager
602 2nd St W
Andalusia, IL 61232
Ph: 309.795.1516

ENGINEER / DESIGN:

Bruner, Cooper & Zuck, Inc.
Andrew Logsdon, P.E.
835 Golden Valley Drive
Bettendorf, IA 52722
Ph: 563.355.1856

CONTRACTOR LIST:

Refer to Contractor Certifications in Part IV
All contractors operating on site shall be identified within this section.

LOCAL GOVERNMENT:

Scott County
600 West 4th Street
Davenport, IA 52801
Ph: 563.326.7711

STATE GOVERNMENT:

Iowa Department of Natural Resources
Storm Water Coordinator
502 East 9th Street
Des Moines, IA 50319
Ph: 515.725.8417

EMERGENCY RESPONSE TO CHEMICAL SPILLS: 515.281.8694

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- VII. ATTACHMENTS**
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 - B. Notice of Discontinuation
 - C. Site Plan Map

Note: For contractor convenience, typical items requiring amendments or information to be added to the SWPPP document by site contractor is noted in underlined text.

PART I
SITE EVALUATION AND DESIGN DEVELOPMENT

A. SITE INFORMATION

1. Site Location
Latitude: 41° 30' 24.203" N
Longitude: 91° 41' 10.392" W
2. Existing Soils Information
 - a) Fayette silt loam, till plain, 18% - 25% Slopes, eroded
 - b) Downs silt loam, till plain, 9% - 14% Slopes, eroded
 - c) Downs silt loam, till plain, 5% - 9% Slopes, eroded
 - d) Anthroportic Udorthents, 2% - 9% Slopes
3. Existing Runoff Water Quality
No sampling data is available for receiving waters.
4. Surface Waters Located on The Construction Site
No surface waters are located on the construction site.
5. Receiving Waters:
Unnamed tributary to Mississippi River.
6. Legal Description of Construction Site:
Davenport, IA NW¼ of the NW¼ of Section 01 Township 77 North, Range 2 East
5th Principal Meridian

B. SITE PLAN DESIGN

1. Refer to the schematic pollution prevention site map included with this plan for site location, topographic information, proposed improvements and proposed erosion and sediment controls.
2. Throughout construction, contractors shall disturb only those areas required to complete construction of proposed improvements.
3. Contractors shall avoid sensitive areas as identified on schematic plan, and areas identified to remain as undisturbed open space.

C. DESCRIPTION OF CONSTRUCTION ACTIVITY

1. All land disturbing activities are part of construction of a new storage facility and paving in Davenport, IA. Construction will include grading, infrastructure work and installing service utilities. Runoff from the new addition will drain into a detention pond NW of the improvements, released into the ditch and flow south.
1. Topsoil: Before the end of construction activities, Topsoil shall be placed on the site for the purpose of seeding and sodding.
2. Soil disturbing activities will include clearing, excavation, stockpiling, rough grading, finish grading, backfill of proposed paving areas, preparation for seeding and sodding, excavation of trenches, utility installation and landscaping.
 - a) Equipment to complete this work may include earth movers, trenchers, paving machines, concrete trucks, semi-tractor trailers, dump trucks, scrapers, and passenger vehicles.
 - (1) Equipment shall be stored in a manner to allow for spill containment of fuels or other chemicals to be used on site.
 - (2) The contractor shall identify all potential chemical sources of pollution and they shall be stored in a manner to prevent spills and allow for the containment and safe cleanup and disposal of spills should they occur.
 - (3) A list of chemicals to be used at the site will be provided to the owner and erosion and sediment control inspector for inclusion as a separate attachment to the pollution prevention plan.
 - b) Several types of light machinery will be used.

- c) On-site personnel will include contractor supervisors, equipment operators and other workers.
 - (1) Adequate sanitary facilities for collection of human waste shall be provided on site at all times throughout construction and collected waste shall be disposed of as per state and local guidelines. The location of such facilities shall be added to the project site map.
- d) There are no known underground storage tanks at this site, and none are proposed to be installed as of date on this package.
- 3. A municipal separate storm sewer system (MS4) is not being installed as part of this project.

D. POLLUTION PREVENTION PLAN SITE MAP

- 1. See attached sheets for locations of proposed controls.
- 2. Qualified personnel shall adjust this initial site map to account for changes in applied controls and site conditions throughout the duration of land disturbing activities, until final establishment of vegetation and issuance of a Notice of Discontinuation for this project.

PART II **SITE ASSESSMENT**

A. SITE AREA

1. The parcel on which soil disturbing activities will occur contains a total of 5 +/- acres.
2. A total of 4 +/- acre are proposed to be disturbed as part of the proposed construction activities.

B. DRAINAGE AREAS

1. The majority of the 4 +/- disturbed acres will drain into a new storm collection system and into a detention pond NW of the improvements or directly into the detention pond itself. The water will slowly drain from the detention pond and flow through ditches to the south where the current site already drains.
2. The unrestricted portion will be surrounded by filter fence until final stabilization is complete.
3. No location exists where concentrated flows from 10 or more disturbed acres will enter a tributary.

C. RUNOFF COEFFICIENT

1. The area within the limits of construction currently has a runoff coefficient of 0.55.
2. After construction is complete, the same area shall have a runoff coefficient of 0.83.

PART III
CONTROL SELECTION AND PLAN DESIGN

A. STATE AND LOCAL REQUIREMENTS

1. This plan has been prepared to comply with requirements set forth in the Iowa Department of Natural Resources General Permit No. 2, effective from March 1, 2023, through February 29, 2028.
2. No part of this pollution prevention plan shall be interpreted to absolve any contractor from any other state or local regulations that may apply to any aspect of construction.
3. Section 161A.64 of the Code of Iowa requires that prior to performing any “land-disturbing” activity (not including agricultural activities), a signed affidavit must be filed with the local Soil and Water Conservation District stating that the project will not exceed soil loss limits stated. It should be noted that this requirement is not a condition of the NPDES General Permit No. 2.

B. SELECTED EROSION AND SEDIMENT CONTROLS

1. Refer to the schematic pollution prevention site map for locations of proposed structural controls.
2. Stabilization
 - a) Under Iowa’s General Permit No. 2, stabilization of disturbed areas must, at a minimum, be initiated immediately whenever any clearing, grading, excavating or other earth disturbing activities have permanently ceased on any portion of the site or temporarily ceased on any portion of the site and will not resume for a period exceeding 14 calendar days. In drought-stricken areas and areas that have recently received such high amounts of rain that seeding with field equipment is impossible and initiating vegetative stabilization immediately is infeasible, alternative stabilization measures must be employed as specified by the Department. In limited circumstances, stabilization may not be required if the intended function of a specific area of the site necessitates that it remains disturbed.
 - b) Stabilization measures at this site shall include the following:
 - (1) Permanent Stabilization Practices
 - (a) Permanent seeding and planting of all disturbed areas by seeding, fertilizing, and mulching shall be completed after final grading is finished. This shall occur in a time of year that is appropriate for seed germination. Existing vegetation in areas not disturbed during construction shall be maintained.
 - (2) Temporary Stabilization Practices
 - (a) If construction activity ceases after stripping and stockpiling for more than 14 days, temporary seed, (Oats at a rate of 65 lbs/acre and Annual Rye Grass at a rate of 40 lbs/acre or approved equal) and mulching shall be placed no more than 14 days after construction ceases. Silt fence or approved equal may be used to temporarily check flows on site and help protect intakes and manholes on site. In areas where flows may run offsite, silt fence shall be placed on the perimeter of the site prior to grading operations. Frequent watering of the grade on site shall also be practiced to minimize dust pollution on site.
3. Structural Practices
 - a) Structural measures at this site shall include the following:
 - (1) Permanent Structural Practices
 - (a) Outlet protection is required for all storm sewer outlets using riprap and engineering fabric. Curbs and gutters along pavement to a storm sewer system will be used to collect storm water.
 - (2) Temporary Structural Practices

- (a) Temporary sediment basins shall be provided at a rate of 3,600 c.f. of storage per acre of disturbed ground over 10 acres. If these requirements cannot be attained, a combination of silt fences, sediment traps and/or other sediment trapping measures may be used. Temporary sediment traps may be used for areas around 2.5 acres in size.

C. OTHER CONTROLS

- 1. Disposal
 - a) All disposal of construction materials and wastes shall follow all local, State and Federal regulations for disposal of such materials.
- 2. Construction Entrance
 - a) The contractor is also responsible for the construction and maintenance of a temporary crushed rock entrance into the project to minimize the amount of offsite tracking from the site. The bordering streets shall be inspected daily, and any significant tracking shall be cleaned up immediately. Any trucks hauling material into or out of the site shall be covered by a tarpaulin to reduce material spillage.
- 3. Hazardous Materials
 - a) Products will be kept in their original containers unless the containers are not resealable.
 - b) Original labels and material safety data will be saved for future reference.
 - c) If surplus product must be disposed of, manufacturers' or local or State recommended methods for proper disposal will be followed.
- 4. Product Specific Practices
 - a) Petroleum Products:

All onsite vehicles will be monitored for leaks and shall receive regular preventative maintenance to reduce the chance of material leakage. Petroleum products will be stored in tightly sealed containers, which are clearly labeled. Any asphalt substances used onsite will be applied according to manufacturer's specifications. Any onsite petroleum storage tanks shall be located on an impervious surface and shall be maintained to prevent any leakage.
 - b) Fertilizers:

Fertilizers used will be applied only in the minimum amounts recommended by the manufacturer. Once applied, fertilizer will be worked into the soil to limit exposure to any storm water. Storage of fertilizers shall be in its original manufacturer's container and under a covered shed whenever possible. Contents of any partially used bag or container shall be placed into resealable bags or containers when not being used.
 - c) Agricultural Activities:

Runoff from agricultural loads may contain chemicals including herbicides, pesticides, fungicides, and fertilizers. Existing farming erosion measures shall be left in place where feasible to help reduce the effects of these runoffs.
 - d) Paints, Paint Solvents and Cleaning Solvents:

All containers will be tightly sealed and stored when not in use. Excess paint will not be discharged to the storm sewer system or into any drainage ditch. Excess paint will be properly disposed of according to manufacturers or local and State regulations.
 - e) Concrete Wastes:

Concrete trucks will be allowed to washout or discharge surplus concrete at a specified location on site that will minimize the potential for storm water contact with these materials. Berming and silt fence may be used to divert any flows into the washout location and any flows out from the concrete washout locations. The waste concrete shall either be disposed of as non-hazardous waste or broken up and used on site in an appropriate manner.
 - f) Solid and Construction Wastes:

A construction dumpster is to be located on site in the designated staging area. All waste construction debris and materials are to be placed into the dumpster on site

and are not to be buried on site. This dumpster is to be emptied once a week or as construction needs required.

g) Sanitary Wastes:

A portable restroom facility is to be located in the designated staging area at all times unless an approved equal is available. Wastes shall be collected and disposed of as required by all local, State, and Federal regulations.

5. Spill Control Practices

a) The contractor is responsible for the training of all personnel in proper use and spill cleanup of all materials used in the work they are completing. If a spill occurs, no storm water contact will be allowed, and the spill is to be cleaned up immediately. If storm water contact does occur, the storm water is to be contained on site and disposed of in a manner that meets all local, State and Federal regulations. In the case of a material spill the following practices will be followed:

- (1) Manufacturer's recommended methods for spill cleanup will be clearly posted on site and site personnel will be made aware of the cleanup procedures and the location of the cleanup supplies.
- (2) Materials and equipment necessary for spill cleanup will be kept in the material storage area onsite. Equipment and materials will include but are not limited to brooms, dual pans, maps, rags, gloves, goggles, kitty litter, sand, sawdust, and plastic and metal trash containers specifically for this purpose.
- (3) All spills will be contained and cleaned up immediately after discovery.
- (4) The spills are/will be kept well ventilated, and personnel will wear appropriate protective clothing to prevent injury during the spill cleanup.
- (5) Spills of toxic or hazardous materials will be reported to all appropriate State and local government agencies regardless of size. The job contractor is responsible for contacting the EPA if any spills are of a size that is larger than the quantities outlined by federal regulations (EPA National Response Center: 1-800-424-8802 or 1-202-426-2675).
- (6) The site superintendent is responsible for day-to-day site operations and will be the spill prevention and cleanup coordinator. He or she will designate at least three other site personnel who will receive spill prevention and cleanup training. These individuals will each become responsible for a particular phase of prevention and cleanup. The names of responsible spill personnel will be posted in the material storage area or office trailer on site if one is present.

D. STORM WATER MANAGEMENT CONTROLS

1. Storm water drainage will be contained by a detention pond with silt fencing around culvert ends for sediment protection.
2. Storm water release rates will be managed by a detention pond at the North end of the overall site where it will be released over time.

E. NON-STORM WATER DISCHARGES

1. It is expected that the following non-storm water discharges will or possibly will occur from the site during construction. By IDNR standards these discharges cannot come into contact with pollutants either before or after discharge onto the site. All discharges will be directed to the sediment basin on site if one is used.
2. The following non-storm water discharges may be present:
 - a) Water from water main flushing
 - b) Water from any vehicle and/or building wash downs excluding any detergents.
 - c) Pavement wash waters where no spills or leaks of toxic or hazardous materials have occurred.
 - d) Uncontaminated ground waters from dewatering excavation.
 - e) Water used to fight fires on site.
 - f) Foundation or footing drains where the discharge has not been exposed to contaminants.

- g) Irrigation sprinklers
- h) Air conditioning condensate

F. LOCATION OF PROPOSED CONTROLS

- 1. See the pollution prevention plan map.

G. INSPECTION AND MAINTENANCE PLAN

- 1. Qualified personnel shall inspect all disturbed areas of the construction site that have not reached “final stabilization” at least once every seven calendar days and within 24 hours of a rainfall event of 0.5 inches or greater. Inspection and maintenance shall be conducted as provided in General Permit Section IV.D.
 - a) Sediment buildup shall be removed when the sediment height is 1/3 the height of the silt fence or higher.
 - b) Silt fence will be inspected for accumulation of sediment, fence tears, proper fence attachment and fence posts are securely attached to the ground.
 - c) Sediment basins, if present, shall be inspected for sediment buildup, and sediment shall be removed when it reaches 50% of the design capacity or after the job is complete.
 - d) Any diversion dikes that are used shall be inspected and any breaches shall be corrected immediately.
 - e) Temporary and permanent seeding and planting shall be inspected for healthy growth, bare spots, and any washouts.
 - f) Dust generation on site shall be kept to a minimum and shall be corrected immediately through watering of the site with only enough water to prevent dust generation and no more.
- 2. An inspection and maintenance checklist for each control measure, stockpile or storage area, construction entrance and discharge location proposed for the construction site shall be included with the pollution prevention plan prior to starting construction.
- 3. Inspection contractors shall keep records of all inspections, maintenance, replacement, or amendments made to proposed controls. Copies of records shall be kept with the pollution prevention plan on site and shall be retained by the owner and by the inspection contractor for a period of 3 years.
- 4. Inspections shall ensure that all controls are operating correctly, and where discharge locations are accessible, determine if erosion control measures employed at the site are effective in preventing significant impacts to receiving waters. Inspection contractor shall identify locations where additional controls may be necessary and add them to the pollution prevention plan.
- 5. Locations where vehicles enter or exit the site shall be inspected for evidence of off-site sediment tracking.
- 6. Where deficiencies exist, the inspector shall identify corrective action to be taken, and notify the requirement of said action to the property owner and affected contractors within 24 hours of inspection. Contractors shall implement changes required within 7 calendar days following the inspection. The inspector shall verify that requested corrective action has been taken as part of following inspections of site area. If requested corrective action is not taken within the provided timetable, the inspector shall document why action has not been completed or if an acceptable alternative has been employed. Corrective actions shall be noted on the schematic site plan.

H. SEQUENCE OF PROPOSED ACTIVITIES

- 1. Prior to any work on site
 - a) The contractor is to install a temporary vehicle tracking control drive to minimize the amount of dirt tracking into the street used for access. This access shall be of adequate size and location to contain site silt from leaving the property onto public roads.
 - b) Perimeter silt fence is to be installed before any work on site is started.
 - c) Also, a construction staging area is to be utilized on site in a location that is minimally affected by storm water runoff. This is the location where all construction

- materials shall be stored. A description of the materials to be stored on site is available from the contractor.
2. Clearing and grubbing
 - a) Check to make sure all silt fencing is in place and in good working order.
 - b) Clearing and Grubbing is to occur only if rough grading is to commence in 21 days or less of this phase.
 - c) Clear all areas that will be affected by construction activity. No materials are to be buried on site. Disposal of waste materials shall be performed in accordance with local ordinances and applicable state and federal laws. A plan of disposal is available from the contractor.
 3. Rough grading
 - a) Check to make sure all perimeter silt fencing is in place and in good working order.
 - b) Construction of any diversion dikes and/or silt basins are to be constructed first, to prevent any erosion from leaving the site.
 - c) After completion of rough grading, all interior silt fence or other erosion control measures are to be installed.
 - d) Any area that is not to be disturbed during utility construction or paving is to be permanently seeded within 14 days of completion of rough grading.
 4. Sanitary sewer construction
 - a) Check to make sure all silt fencing and other erosion control measures are in place and in good working order.
 - b) Install sanitary sewers and place permanent seeding on any areas that are not to be disturbed by future construction activity.
 5. Water main construction
 - a) Check to make sure all silt fencing and other erosion control measures are in place and in good working order.
 - b) Install water main and place permanent seeding on any areas that are not to be disturbed by future construction activity.
 - c) Any water main flushing will be directed so that all discharges pass through the silt basin if one is constructed.
 6. Storm sewer construction
 - a) Check to make sure all silt fencing and other erosion control measures are in place and in good working order.
 - b) Install storm sewer and place permanent seeding on any areas that are not to be disturbed by future construction activity.
 - c) Storm outlets shall be protected using riprap and engineering fabric.
 - d) Protect all storm inlets from erosion infiltration into the storm sewer by use of inlet protection approved by the Owner.
 7. Paving construction
 - a) Check to make sure all silt fencing and other erosion control measures are in place and in good working order.
 - b) Perform final compaction and trimming of subgrade, place, and compact aggregate base (if applicable), and construct all concrete pavement, curbs and gutters, box-outs for intakes and manholes, and prepare for final curb backfill.
 - c) Protect all storm sewer intakes with an approved erosion control method, which are to be left in place until final stabilization is reached.
 8. Building construction
 - a) Check to make sure all silt fencing and other erosion control measures are in place and in good working order.
 - b) Construct proposed building(s) being careful to minimize soil being tracked onto streets.
 9. Final grading
 - a) Check to make sure all silt fencing and other erosion control measures are in place and in good working order.
 - b) Remove all interior erosion control measures long enough to complete final grading, being sure to reinstall all measures until final stabilization is met.

- c) Final stabilization shall be when a 70% vegetative density has been achieved and no more construction activities are anticipated. At this time all erosion control measures can be removed, and any silt basins cleaned out, regraded, seeded, and mulched.

PART IV
POLLUTION PREVENTION PLAN CERTIFICATION AND NOTICE OF INTENT

- A. CERTIFICATION OF POLLUTION PREVENTION PLAN**
 - 1. See Page 14

- B. CONTRACTOR CERTIFICATIONS AS REQUIRED BY GENERAL PERMIT**
 - 1. See Page 15

- C. SUBCONTRACTOR CERTIFICATION**
 - 1. See Page 16

CERTIFICATION STATEMENT

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

ENGINEER:

Company: Bruner, Cooper & Zuck, Inc.
Contact: Kevan Cooper, P.E.
Address: 188 E Simmons Street
Galesburg, IL 61401
Phone: 309.343.9282

Signature

Date

CONTRACTOR CERTIFICATION

I certify under penalty of law that I understand the terms and conditions of the general National Pollutant Discharge Elimination System (NPDES) permit that authorizes the storm water discharges associated with industrial activity from the construction site as part of this certification. Further, by my signature, I understand that I am a co-permittee, along with the owner(s) and other contractors and subcontractors signing such certifications, to the Iowa Department of Natural Resources NPDES General Permit No. 2 for Storm Water Discharge Associated with Industrial Activity for Construction Activities at the identified site. As co-permittee, I understand that I, and my company, are legally required under the Clean Water Act and the Code of Iowa, to ensure compliance with the terms and conditions of the storm water pollution prevention plan (SWPPP) developed under this NPDES permit and the terms of this NPDES permit.

For each control measure, the storm water pollution prevention plan must clearly identify the contractor(s) and or subcontractor(s) that will implement the measure. All contractors and subcontractors identified in the plan, including short-term contractors and subcontractors coming on-site, must sign the following certification statement before conducting any professional service at the site identified in the plan. The certification must be signed in accordance with the signatory requirements found in the general permit (i.e., principal executive officer, vice-president, general partner, proprietor, elected official) and must be incorporated into the pollution prevention plan.

GENERAL CONTRACTOR:

Company: Taylor Ridge Paving & Construction
Contact: Chris Dowell, Operations Manager
Address: 602 2nd St W
Andalusia, IL 61232
Phone: Ph: 309.795.1516

Signature

Date

Services to be conducted on-site:

SUBCONTRACTOR CERTIFICATION

I certify under penalty of law that I understand the terms and conditions of the general National Pollutant Discharge Elimination System (NPDES) permit that authorizes the storm water discharges associated with industrial activity from the construction site as part of this certification. Further, by my signature, I understand that I am a co-permittee, along with the owner(s) and other contractors and subcontractors signing such certifications, to the Iowa Department of Natural Resources NPDES General Permit No. 2 for Storm Water Discharge Associated with Industrial Activity for Construction Activities at the identified site. As co-permittee, I understand that I, and my company, are legally required under the Clean Water Act and the Code of Iowa, to ensure compliance with the terms and conditions of the storm water pollution prevention plan (SWPPP) developed under this NPDES permit and the terms of this NPDES permit.

For each control measure, the storm water pollution prevention plan must clearly identify the contractor(s) and or subcontractor(s) that will implement the measure. All contractors and subcontractors identified in the plan, including short-term contractors and subcontractors coming on-site, must sign the following certification statement before conducting any professional service at the site identified in the plan. The certification must be signed in accordance with the signatory requirements found in the general permit (i.e., principal executive officer, vice-president, general partner, proprietor, elected official) and must be incorporated into the pollution prevention plan.

SUBCONTRACTOR:

Company:

Contact:

Address:

Phone:

Signature

Date

Services to be conducted on-site:

PART V

CONSTRUCTION AND IMPLEMENTATION

A. IMPLEMENTATION OF CONTROLS

1. Contractors shall follow the sequence of events as specified in Part III.G of this plan.
2. As items are completed, contractors shall note the date of completion, the contractor completing the work, and any revisions made to the plan, or other items of note on a schedule similar to one included within this section. Schedule shall be kept as part of this SWPPP document and updated throughout the project.

B. INSPECTION AND MAINTENANCE OF CONTROLS

1. Qualified personnel shall be employed by the owner or designated contractor to conduct inspection and maintenance of all controls, disturbed areas, construction entrances, discharge locations and storage areas as specified in Part III.F of this plan. Said contractor shall complete and sign the inspection report certification statement included in Part IV of this plan.
2. Inspection and maintenance contractors shall complete the included inspection forms for each inspection visit.
3. Additional controls shall be provided as necessary to prevent pollution of tributary waterways upon direction of inspection and maintenance contractor, local government officials, or design engineer.
4. Any changes to the plan should be documented as part of inspection reports, or separate documents attached to this plan. Amendments to controls should be located on site plan map (located on site) with red marker or pen along with date of amendment with brief description of change, and name of contractor completing work.
5. Inspection and maintenance contractors shall notify the owner if work is required to complete maintenance by other contractors at this site.
6. Any required maintenance shall be completed within 7 calendar days of inspection.
7. A copy of all inspection reports shall be kept on site as a part of this plan, and by the inspection and maintenance contractor. Original copies should be provided to the owner within 24 hours of inspections being conducted. The owner and inspection and maintenance contractor shall retain copies for at least 3 years following submittal of Notice of Discontinuation to the Iowa Department of Natural Resources.
8. All parts of the pollution prevention plan must be made accessible upon request to the Iowa Department of Natural Resources, the Environmental Protection Agency, or other local government jurisdiction.

C. RELEASES IN EXCESS OF REPORTABLE QUANTITIES

1. Spills of toxic or hazardous materials will be reported to all appropriate State and local government agencies regardless of size. The job contractor is responsible for contacting the EPA if any spills are of a size that is larger than the quantities outlined by federal regulations (EPA National Response Center: 1-800-424-8802 or 1-202-426-2675).
2. If the spill exceeds reportable quantity, the SWPPP will be modified in no less than 14 days from the inspection reports recording and shall reflect all the changes in erosion control measures that were enacted due to this spill. Also, the SWPPP shall record a description of the release, an explanation of why the spill occurred, a description of measures enacted to prevent any future spills and/or release of materials and method of spill cleanup used and procedures of disposal of the material.

SEQUENCE OF EVENTS – COMPLETION SCHEDULE

ITEM #	CONTRACTOR	START DATE	END DATE	REVISIONS TO SCHEDULE, PLANS, OR OTHER NOTES
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				
11				
12				
13				
14				
15				
16				
17				
18				
19				
20				
21				
22				
23				
24				
25				

INSPECTION REPORT

Date of Inspection:	Inspection conducted by:
Weather conditions on date of inspection:	Rainfall since last inspection:
Scope of inspection (list items being reviewed):	
Have the damage or deficiencies noted in the last inspection report been corrected?	
Review condition of controls covered by the scope of this inspection. List any damage or deficiencies in control measures:	
Recommended corrective action to be taken:	

INSPECTION REPORT CERTIFICATION STATEMENT

I certify under penalty of law that this document and that all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Print Name

Title

Signature

Date

PART VI
NOTICE OF DISCONTINUATION

A. NOTICE OF DISCONTINUATION

1. A storm water discharge that is covered under the general permit is required to notify the Iowa DNR that discharge has been discontinued and that the discharge is no longer subject to NPDES permitting requirements. For construction activities, this means final stabilization has been reached.
2. Within 30 days after final stabilization has been reached the owner or general contractor shall submit an official Notice of Discontinuation (NOD) to the Iowa DNR. A copy of the NOD is attached.

STORM WATER POLLUTION PREVENTION PLAN CHECKLIST

The following information should be kept with this document or be available upon request from interested parties.

- 1. Copy of Notice of Intent submitted to the Iowa Department of Natural Resources**
- 2. Schematic Storm Water Pollution Prevention Plan**
- 3. Recorded Changes to Pollution Prevention Plan**
(Document reasons for changes)
- 4. Copies of Inspection Reports**
(A template for an inspection report has been included)
NOTE: The general permit requires inspection every 7 days and within 24 hours of the end of a storm of 0.5 inches or greater of rainfall. All disturbed areas of the site, areas for material storage, locations where vehicles enter or exit the site, all of the erosion and sediment controls that were identified as part of the plan, and accessible discharge locations must be inspected. Controls must be in good operating condition until the construction activity is complete and final stabilization has been reached (General Permit – Part IV, Section D.4).
- 5. Contractor Certifications as required by General Permit**
(Template included)
NOTE: For each control measure, the storm water pollution prevention plan must clearly identify the contractor(s) and or subcontractor(s) that will implement the measure. All contractors and subcontractors identified in the plan, including short-term contractors and subcontractors coming on-site, must sign the following certification statement before conducting any professional service at the site identified in the plan (as required in General Permit – Part IV, Section D.7).
- 6. Copies of Records of Change of Ownership or Responsibility**
(As required in General Permit – Part II, Section F)
- 7. Notice of Discontinuation**
(Blank form included)
To be submitted to the Iowa Department of Natural Resources within 30 days of final site stabilization
(Refer to General Permit – Part II, Section G)
- 8. Copy of the NPDES General Permit No. 2**

Refer to the Iowa Department of Natural Resources Website for more details.
<http://www.iowadnr.gov/InsideDNR/RegulatoryWater/StormWater.aspx>

PART VII
ATTACHMENTS

- A. NOTICE OF INTENT
- B. SITE PLAN MAP
- C. NOTICE OF DISCONTINUATION
- D. COPY OF NPDES GENERAL PERMIT NO. 2

NPDES Storm Water General Permit Public Notice

Instructions - To complete the public notice, fill in the blanks with the required information or select the appropriate response and send to the newspaper.

The public notice must be published at least one day at your own expense.

PUBLIC NOTICE OF STORM WATER DISCHARGE

Taylor Ridge Paving & Construction plans to submit a Notice of Intent to the
(applicant name)

Iowa Department of Natural Resources to be covered under an NPDES General Permit

- D General Permit No. 1 - Storm Water Discharge Associated with Industrial Activity**
- X General Permit No. 2 - Storm Water Discharge Associated with Industrial Activity for Construction Activities**
- D General Permit No. 3 - Storm Water Discharge Associated with Industrial Activity from Asphalt Plants, Concrete Batch Plants, Rock Crushing Plants, and Construction Sand and Gravel Facilities**

The storm water discharge will be from *(description of industrial activity)*:

Excavation and grading for construction activities for new building and parking lot.

located in NW. 01. 77N. 2E. Scott

{¼ section, section, township, range, county}

Storm water will be discharged from 1 point source(s) and will be discharged to
(number)

the following streams: Unnamed Tributary to Mississippi River
(stream name(s))

Comments may be submitted to the Storm Water Coordinator, Iowa Department of Natural Resources, 502 E 9th St, Des Moines IA 50319. The public may review the Notice of Intent from 8:00am to 4:30pm, Monday through Friday, at the above address after it has been received by the department.



WWW.BCZENGINERING.COM

SITE IMPROVEMENT PLANS
 HIGHWAY 61 AND 110TH AVENUE
 DAVENPORT, IOWA
 SCOTT COUNTY

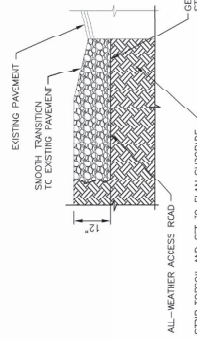
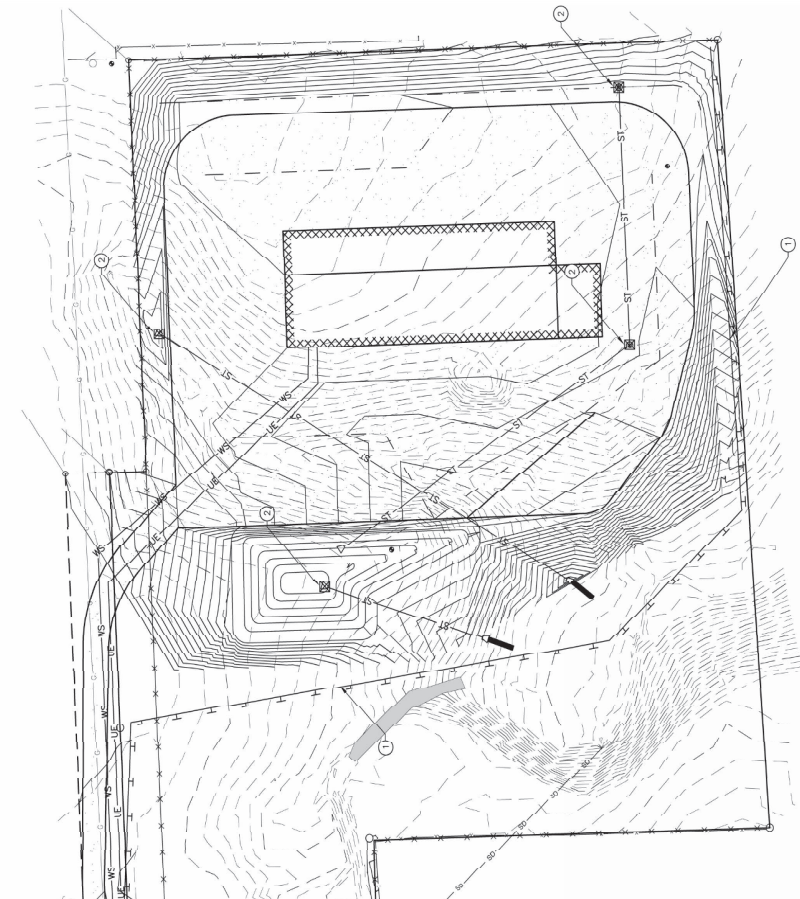
ISSUE RECORD

NO.	DATE	DESCRIPTION
1		PRELIMINARY
2		REVISIONS
3		REVISIONS
4		REVISIONS

EROSION AND SEDIMENT CONTROL

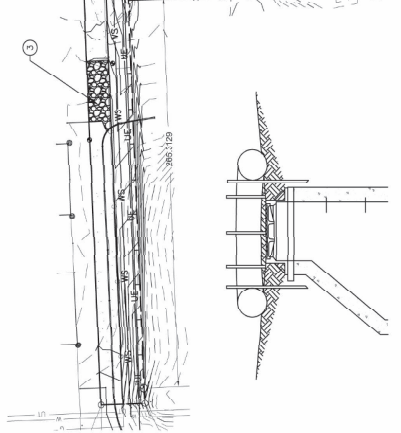
C4

2023227-3 02-12-2024

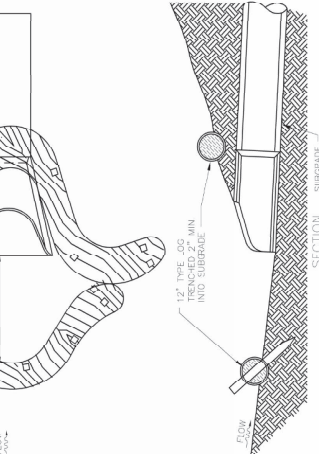
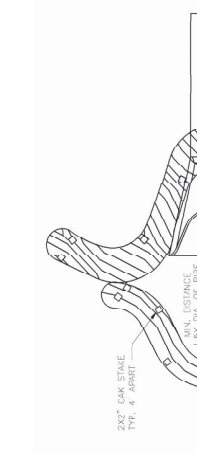


- NOTES**
1. USE #1 STONE MINIMUM 20 WIDTH MINIMUM 1 1/2" THICK
 2. STONE SHALL BE WASHED AND SCREENED TO REMOVE ALL FINE MATERIAL AND PERMIT TRANSFER OF FLOW OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND/OR REPAIR OR CLEANOUT OF ANY WEARSURF USED TO TRAP SEDIMENT.
 3. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS DONE, IT SHALL BE DONE IN AN AREA STABILIZED WITH STONE AND WHICH DRAINS TO AN APPROVED SEDIMENT TRAP OR POND.
 4. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED INTO A PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 5. ACCESS PERMIT TO PUBLIC ROADS MUST BE OBTAINED PRIOR TO CONSTRUCTION.
 6. MINIMUM ROAD WIDTH SHALL BE 20'-0".

TEMPORARY CONSTRUCTION ENTRANCE
 SCALE: NONE



- NOTES**
1. 2"x12" NOMINAL HARDWOOD STAKES, 4 FOOT MINIMUM LENGTH, DRIVEN INTO GROUND AND SPACED UNIFORMLY 15 INCHES. STAKES DRIVEN A MINIMUM OF 12 INCHES FROM THE DROP INLET.
 2. THE MAXIMUM DISTANCE BETWEEN THE STAKES SHOULD BE 4 FEET.
 3. THE DISTANCE BETWEEN THE STAKES MUST MAINTAIN A SEDIMENT ACCUMULATION OF LESS THAN 50% OF THE HEIGHT OF THE STAKES.



- EROSION CONTROL LEGEND**
- 1 PERIMETER EROSION BARRIER
 - 2 INLET & PIPE PROTECTION
 - 3 TEMPORARY CONSTRUCTION ENTRANCE

SILT FENCE PERIMETER EROSION BARRIER
 SCALE: NONE

EROSION CONTROL LEGEND

- 1 PERIMETER EROSION BARRIER
- 2 INLET & PIPE PROTECTION
- 3 TEMPORARY CONSTRUCTION ENTRANCE

NOTICE OF DISCONTINUATION
OF A STORM WATER DISCHARGE
COVERED UNDER IOWA NPDES GENERAL PERMIT NUMBERS 1, 2, OR 3

Provide the name of the owner or facility to which the storm water discharge general permit coverage was issued, the facility name, and the county where the facility is located.

Owner Name: _____

Facility Name: _____

County: _____

Provide the complete permit authorization number for the discharge. This number is provided on the bottom of the authorization sheet.

Permit Authorization Number: IA- _____

Provide the date the storm water discharge was discontinued as defined in the applicable general permit or, for construction sites, the date the site reached final stabilization as defined on the back of this form.

Date of Discontinuation or Stabilization: _____

The following certification must be signed in accordance with the signatory requirements (see back side).

I certify under penalty of law that all storm water discharges associated with industrial activity from the identified facility have been eliminated. If this is a construction site, I certify under penalty of law that disturbed soils at the identified facility have been finally stabilized and temporary erosion and sediment control measures have been removed or will be removed at an appropriate time. I understand that by submitting this Notice of Discontinuation, that I am no longer authorized to discharge storm water, either associated with industrial activity, associated with industrial activity for construction activities, or at this site location by Iowa Department of Natural Resources NPDES General Permit No. 1, No. 2 or No. 3 under the authorization indicated above and that discharging pollutants from storm water associated with industrial activity to the waters of the United States is unlawful under the Clean Water Act where the discharge is not authorized by a NPDES permit.

I further certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for known violations.

Name (print)

Title and Company Name

Signature

Date

Return this form to: mark.lasnek@dnr.iowa.gov

FINAL STABILIZATION:

Final Stabilization means that all soil disturbing activities at the site have been completed and that a uniform perennial vegetative cover for the area has been established or equivalent stabilization measures have been employed. All building must be completed before the project is considered finally stabilized.

SIGNATORY REQUIREMENTS:

All Notices of Intent, Notices of Discontinuation, storm water pollution prevention plans, reports, certifications or information either submitted to the Department or the operator of a large or medium municipal separate storm sewer system shall be signed in accordance with subrule 567 IAC 64.3(8) of the Iowa Administrative Code as follows:

64.3(8) *Identity of signatories of operation permit applications.* The person who signs the application for a permit shall be:

- a. *Corporations.* In the case of corporations, a responsible corporate officer. A responsible corporate officer means: (1) A president, secretary, treasurer, or vice -president in charge of a principal business function, or any other person who performs similar policy or decision-making functions: or (2) The manager of manufacturing, production or operating facilities, if authority to sign documents has been assigned or delegated to the manager in accordance with corporate procedures.
- b. *Partnerships.* In the case of a partnership, a general partner.
- c. *Sole proprietorships.* In the case of a sole proprietorship, the proprietor.
- d. *Municipal, state, federal, or other public agency.* In the case of a municipal, state, or other public facility, either the principal executive officer or the ranking elected official. A principal executive officer of a public agency includes: (1) The chief executive officer of the agency, or (2) A senior executive officer having responsibility for the overall operations of a unit of the agency.
- e. *Storm water discharge associated with industrial activity from construction activities.* In the case of a storm water discharge associated with construction activity, either the owner of the site or the general contractor.



DEPARTMENT OF NATURAL RESOURCES
NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)
NOTICE OF GENERAL PERMIT COVERAGE UNDER
GENERAL PERMIT NO. 2

STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY

This notice of general permit coverage for a storm water discharge associated with construction activity is issued pursuant to the authority of section 402 (b) of the Clean Water Act (U.S.C. 1342(b)), Iowa Code 455B.174, and subrule 567--64.4(2), Iowa Administrative Code. A Notice of Intent has been filed with the Iowa Department of Natural Resources that this storm water discharge complies with the terms and conditions of NPDES General Permit No. 2. Authorization is hereby issued to discharge storm water associated with industrial activity as defined in Part VIII of the Iowa Department of Natural Resources NPDES General Permit No. 2 in accordance with the terms and conditions set forth in the permit.

Owner:

CHRIS DOWELL
602 2ND ST W
ANDALUSIA IL 61232
(309)795-1516

Contact:

EMMA TAYLOR
BRUNER, COOPER & ZUCK, INC
835 GOLDEN VALLEY DRIVE
BETTENDORF IA 52722
(309)315-4305

Permit Coverage Issued To:

TAYLOR RIDGE PAVING & CONSTRUCTION
HIGHWAY 61 & 110TH AVE, SE OF INTERSECTION (PARECEL NUMBER
720101001)
in DAVENPORT, SCOTT COUNTY
located at

Table with 4 columns: 1/4 Section, Section, Township, Range. Row 1: NW, 1, 77, 2E

Coverage Provided Through: 4/1/2025
NPDES Permit Discharge Authorization Number: 43913 - 43509
Discharge Authorization Date: 4/1/2024
Acres Disturbed: 5.0

Project Description: NEW PARKING LOT FOR A FUTURE STORAGE FACILITY



DEPARTMENT OF NATURAL RESOURCES
NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)
NOTICE OF GENERAL PERMIT COVERAGE UNDER
GENERAL PERMIT NO. 2

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Project Description: NEW PARKING LOT FOR A FUTURE STORAGE FACILITY

THE IOWA STATE BAR ASSOCIATION
Official Form No. 101

Terry M. Giebelstein ISBA # 1827

FOR THE LEGAL EFFECT OF THE USE OF
THIS FORM, CONSULT YOUR LAWYER



Doc ID: 015100460002 Type: LAN
Recorded: 11/03/2004 at 10:41:11 AM
Fee Amt: \$203.40 Page 1 of 2
Revenue Tax: \$186.40
Scott County Iowa
Rita A. Vargas Recorder



File **2004-00038928**

Preparer Information: Terry M. Giebelstein, 220 N. Main Street #600, Davenport IA, (563) 324-3246
Individual's Name Street Address City Phone



Address Tax Statement: Little Dickens, Inc. c/o Troy L. Dickens
5142 NUBIS COURT, DAVENPORT IA 52802
SPACE ABOVE THIS LINE FOR RECORDER

WARRANTY DEED

For the consideration of One (\$1.00)
Dollar(s) and other valuable consideration,
JOHN E. GROVES, a single person

do hereby Convey to
~~LITTLE DICKENS, INC., an Iowa corporation~~ MARLENE E. DICKENS

the following described real estate in Scott County, Iowa:
Lots 14, 15, 16, 17 and 18 in Auditor's Plat of Blessing Acres 1st Addition to Scott County, Iowa, being part of the Northwest quarter of Section 1, Township 77 North, Range 2 East of the 5th P.M., being Instrument #11551-72 in the records of the office of the Recorder of Scott County, Iowa.

Except that portion thereof condemned by condemnation recorded as Document #23356-92 in the office of the Recorder of Scott County, Iowa.

Subject to a reserved easement for the ingress, egress and utility purposes in favor of Seller, his successors and assigns, over that portion of the property as described on Easement Description attached hereto as Exhibit "A".

720101114
7201011151
7201011161
7201011171
7201011181

Grantors do Hereby Covenant with grantees, and successors in interest, that grantors hold the real estate by title in fee simple; that they have good and lawful authority to sell and convey the real estate; that the real estate is Free and Clear of all Liens and Encumbrances except as may be above stated; and grantors Covenant to Warrant and Defend the real estate against the lawful claims of all persons except as may be above stated. Each of the undersigned hereby relinquishes all rights of dower, homestead and distributive share in and to the real estate.

Words and phrases herein, including acknowledgment hereof, shall be construed as in the singular or plural number, and as masculine or feminine gender, according to the context.

STATE OF IOWA

Dated: October 31, 2004

SCOTT COUNTY, ss:

On this 31st day of October, 2004, before me, the undersigned, a Notary Public in and for said State, personally appeared John E. Groves, a single person

[Signature]
JOHN E. GROVES (Grantor)

to me known to be the identical persons named in and who executed the foregoing instrument and acknowledged that they executed the same as their voluntary act and deed.

(Grantor)

(Grantor)

[Signature]
Notary Public

(Grantor)

(This form of acknowledgment is valid only if signed by a Notary Public in and for the State of Iowa.)
TERRY M. GIEBELSTEIN
Commission Number 701019
My Commission Expires
January 9, 2006

EXHIBIT "A"

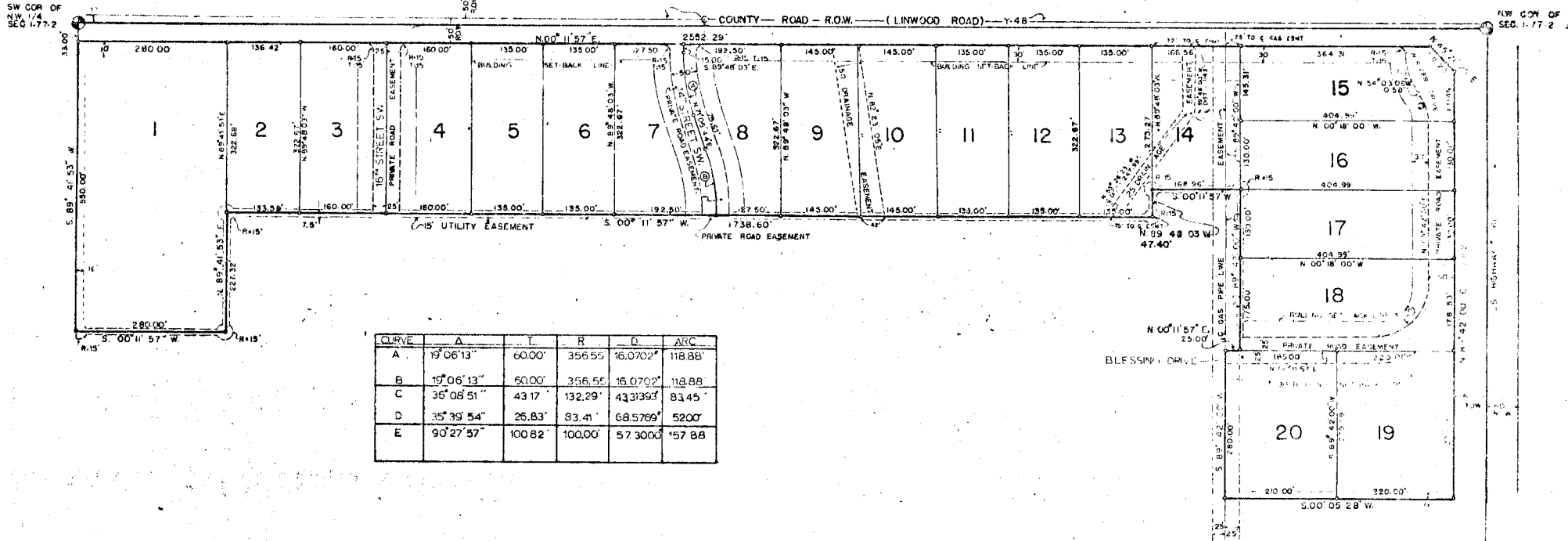
EASEMENT DESCRIPTION

The West 30 feet of Lot 15 in Auditor's Plat of Blessing Acres 1st Addition to Scott County, Iowa, extending from the north edge of the existing entrance way between Lot 15 and County Road Y-48 to the south line of said Lot 15. Also, the South 30 feet of Lots 15 16, 17 and 18 in Auditor's Plat of Blessing Acres 1st Addition to Scott County, Iowa.

11551-72

1972 AUG 18 PM 2:49

FEE 14.50 paid
RECORDED BY *L. W. ...*
SCOTT COUNTY, IOWA



CURVE	A	L	R	D	ARC
A	19° 06' 13"	60.00'	356.55'	16.0702'	118.88'
B	19° 06' 13"	60.00'	356.55'	16.0702'	118.88'
C	35° 06' 51"	43.17'	132.29'	43.3139'	83.45'
D	35° 39' 54"	26.83'	83.41'	68.5769'	52.00'
E	90° 27' 57"	100.82'	100.00'	57.3000'	157.88'

IA-ILL GAS & ELECTRIC CO.
BY *[Signature]*
DATE *7-16-72*
APPROVED SUBJECT TO ENCUMBRANCES
OF RECORD BY IA-ILL GAS & ELECTRIC
CO.

PLAN & ZONE COMMISSION
BY *[Signature]*
DATE *7-25-72*

N.W. WELD TELEPHONE CO.
BY *[Signature]*
DATE *7-25-72*

CITY OF DAVENPORT IA.
BY *[Signature]*
DATE *7-25-72*
ATTEST *[Signature]*

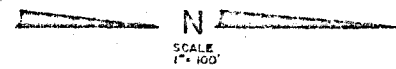
FINAL PLAT
OF

BLESSING ACRES

1ST. ADD.

AN ADDITION IN SCOTT COUNTY, IOWA
OWNERS: HARRY G. BLESSING, ARLENE H. BLESSING
KATHERINE M. BLESSING
3929 ROCKINGHAM ROAD - DAVENPORT, IOWA

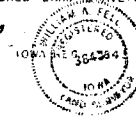
DATE: JULY 24, 1972



1. ALL DISTANCES SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.
2. IRON MARKERS ARE 5/8" IN DIAMETER AND 2" IN LENGTH, MADE OF METAL.
3. IRON MARKERS SHOWN THUS *[Symbol]*.
4. NO WATER OR SEWER SERVICE AVAILABLE TO INDIVIDUAL LOTS.
5. PRIVATE ROAD EASEMENTS TO ALSO BE USED FOR UTILITY EASEMENTS.
6. BLANKET OVERHEAD AND UNDERGROUND EASEMENT GRANTED FOR ALL ELECTRIC PRIMARY AND SECONDARY CABLES, SERVICE WIRES, GAS LINES AND TELEPHONE WIRES.

I HEREBY CERTIFY THAT THE ABOVE PLAT CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

William A. Fell
WILLIAM A. FELL



DATE *July 23, 1972*

BLESSING ACRES 1ST. ADD.

REGISTERED PROFESSIONAL LAND SURVEYOR
ARCHITECTS - ENGINEERS - PLANNERS
DRAUGHTSMEN
DAMES & MOORE
DATE
DRAWN
CHECKED
DATE
DWG. NO.

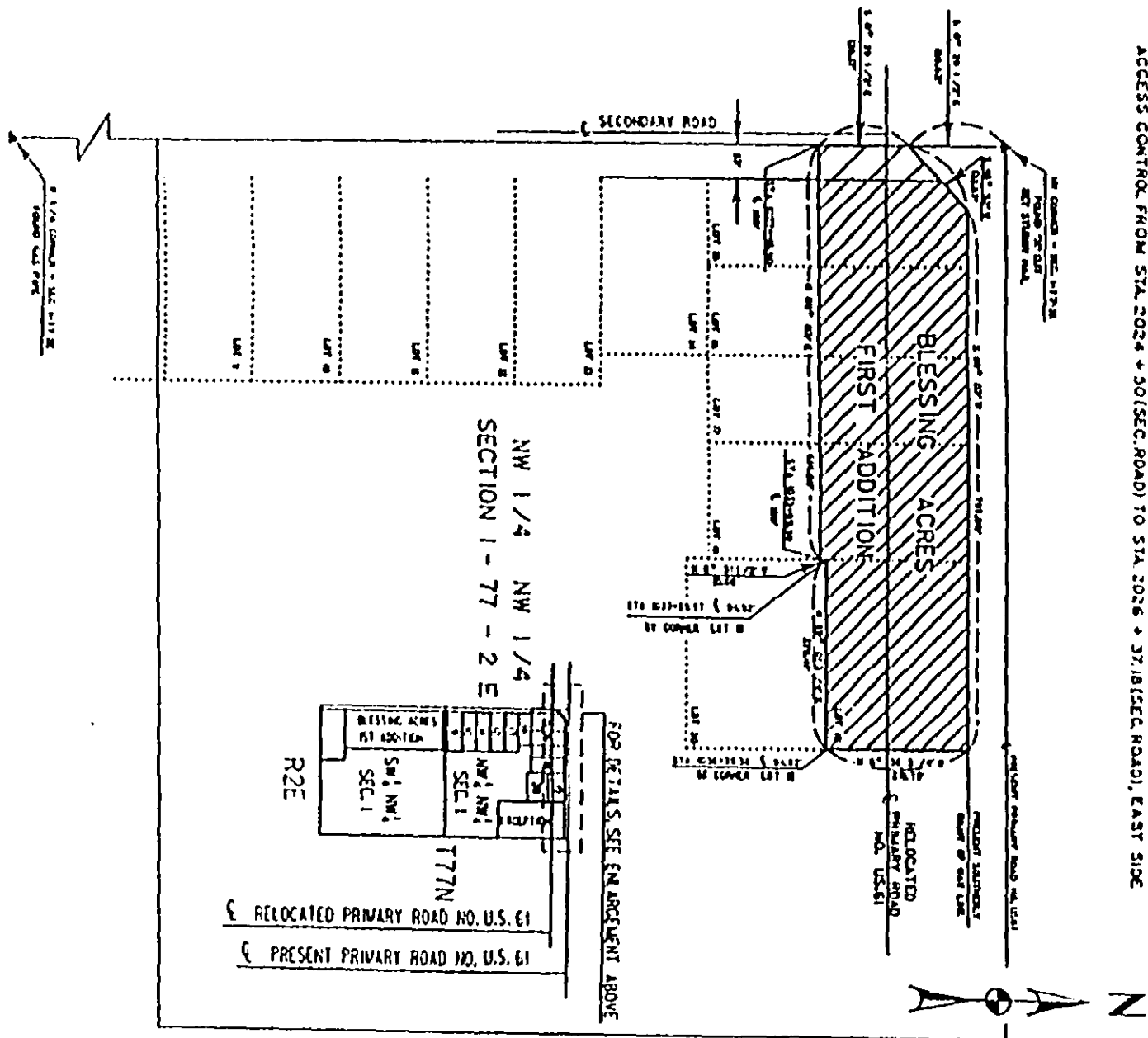
Form 834-877
6-78

IOWA DEPARTMENT OF TRANSPORTATION
ACQUISITION PLAT
EXHIBIT 'A'

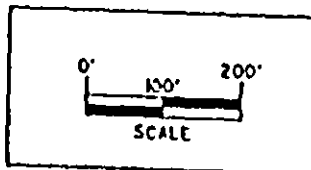


COUNTY SCOTT STATE CONTROL NO. 09-00
PROJECT NO. FN-61-5(73)-21-82 PARCEL NO. 66
SECTION 1 TOWNSHIP 77 NORTH RANGE 2 EAST
ROW-FEE 4.55 % AC. EASE _____ AC EXCESS-FEE _____ AC
ACQUIRED FROM DAVENPORT MEMORIAL PARK TRUST # 675

* INCLUDING 0.20 ACRE IN PRESENT ESTABLISHED ROAD



I HEREBY CERTIFY THAT THIS PLAT IS A TRUE AND ACCURATE REPRESENTATION OF THE LAND HEREIN DESCRIBED, MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.
Larry R. McGuire 7/18/91
LARRY R. MCGUIRE REG. NO. 9019 DATE



DATE DRAWN JULY 18, 1991 SCALE 1" = 200'



Doc ID: 023453100003 Type: LAN
Recorded: 04/17/2023 at 12:49:08 PM
Fee Amt: \$381.20 Page 1 of 3
Revenue Tax: \$359.20
Scott County Iowa
Rita A. Vargas Recorder

File **2023-00006231**

**WARRANTY DEED
Recorder's Cover Sheet**

Preparer Information: Curt A. Oppel, Stanley, Lande & Hunter, 201 West Second Street, Suite 1000, Davenport, IA 52801, Phone: 563-324-1000

Taxpayer Information: Dowell Properties, LLC, %Christopher M. Dowell,
P.O. BOX 476 Andalusia, IL 61232

Return Document To: VB & G

Grantors: John E. Groves and Beverly J. Groves

Grantee: Dowell Properties, LLC

Legal Description: See Page 3

Document or instrument number of previously recorded documents:



WARRANTY DEED

For the consideration of One Dollar (\$1.00) and other valuable consideration, **JOHN E. GROVES and BEVERLY J. GROVES**, husband and wife, do hereby Convey to **DOWELL PROPERTIES, LLC**, a limited liability company organized and existing under the laws of Illinois, the following described real estate in Scott County, Iowa:

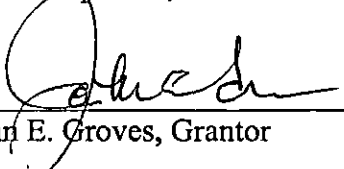
See attached Exhibit "A"

There is no known private burial site, well, solid waste disposal site, underground storage tank, hazardous waste, or private sewage disposal system on the property as described in Iowa Code Section 558.69, and therefore the transaction is exempt from the requirement to submit a groundwater hazard statement.

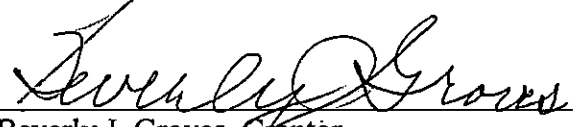
Grantors do Hereby Covenant with grantee, and successors in interest, that grantors hold the real estate by title in fee simple; that they have good and lawful authority to sell and convey the real estate; that the real estate is free and clear of all liens and encumbrances except as may be above stated; and grantors Covenant to Warrant and Defend the real estate against the lawful claims of all persons except as may be above stated. Each of the undersigned hereby relinquishes all rights of dower, homestead and distributive share in and to the real estate.

Words and phrases herein, including acknowledgment hereof, shall be construed as in the singular or plural number, and as masculine or feminine gender, according to the context.

Dated: April 14, 2023.



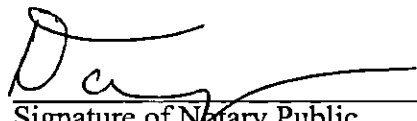
John E. Groves, Grantor



Beverly J. Groves, Grantor

STATE OF IOWA, COUNTY OF SCOTT

This record was acknowledged before me on April 14, 2023, by John E. Groves and Beverly J. Groves.



Signature of Notary Public

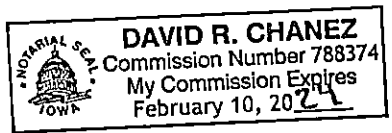


EXHIBIT A

The West Half of the Northwest Quarter of Section 1, Township 77 North, Range 2 East of the 5th P.M., Scott County, Iowa.

Except that part platted as Auditor's Plat of Blessing Acres 1st Addition, Scott County, Iowa, filed of record on August 18, 1972 as Document No. 11551-72 in the office of the Recorder of Scott County, Iowa.

Except that part platted as the Final Plat of Jim Schell's First Addition, Scott County, Iowa, filed of record on November 8, 1996 as Document No. 27811-95 and corrected by Document No. 28461-95 in the office of the Recorder of Scott County, Iowa.

Except that part described in Plat of Survey, filed of record on March 18, 2002 as Document No. 2002-11196 in the office of the Recorder of Scott County, Iowa.

Except that part described in Plat of Survey, filed of record on September 23, 2005 as Document No. 2005-31920 in the office of the Recorder of Scott County, Iowa.

Except that part described in Parcel Survey, filed of record on April 7, 2014 as Document No. 2014-07463 in the office of the Recorder of Scott County, Iowa.

Except that part thereof conveyed to Thompson & Sons Trailer Sales by Warranty Deed dated May 10, 1972 and recorded as Document #6167-72 in the office of the Recorder of Scott County, Iowa more particularly described as follows: Part of the Northwest $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of Section 1, Township 77 North, Range 2 East of the 5th Principal Meridian; Being more particularly described as follows; Commencing at the Northwest corner of the East $\frac{1}{2}$ of the Northwest $\frac{1}{4}$ of said Section 1, which point is on the centerline of U.S. Highway #61; Thence South 00° 23' West 60.00 feet to the point of beginning; Thence continuing South 00° 23' West 822.00 feet along the East line of the Northwest $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of said Section 1; thence South 88° 48' West 432.08 feet; Thence North 00° 23' East 831.00 feet to the South Right-Of-Way line of U.S. Highway #61; Thence East along the South Right-Of-Way line of said Highway, 432.00 feet to the point of Beginning.

Excepting therefrom all existing highways and roads.

Together with the reserved easement for the ingress, egress and utility purposes reserved in Warranty Deed dated October 31, 2004 and recorded as Document #2004-38928 in the office of the Recorder of Scott County, Iowa.



Doc ID: 016600470002 Type: LAN
Recorded: 02/05/2008 at 09:33:43 AM
Fee Amt: \$12.00 Page 1 of 2
Scott County Iowa
Rita A. Vargas Recorder

File **2008-00002849**

VACATION OF PRIVATE ROAD EASEMENT
IN
BLESSING ACRES 1ST ADDITION
SCOTT COUNTY, IOWA

*Prepared By: F. Nowinski 1000 36th Ave, Moline, IL 61265
Return TO: VB & G*

WHEREAS, in the auditor's plat of Blessing Acres 1st Addition there was set forth a private roadway easement over Lots 15, 16, 17, 18, 19 and 20 of Blessing Acres 1st Addition, and

WHEREAS, through a condemnation proceeding, the State of Iowa acquired title to the northern portions of Lots, 15, 16, 17 and 18 and all of Lot 19 in Blessing Acres 1st Addition, and

WHEREAS, Marlene E. Dickens is the owner of the southern portions of Lots 15, 16, 17 and 18 and all of Lot 20 in Blessing Acres 1st Addition, and

WHEREAS, the taking of the property in the condemnation proceeding by the State of Iowa effectively made the remaining portion of the private road easement of no practical use and of no value, and

WHEREAS, the current owner of the southern portion of Lot 18 and all of Lot 20 wishes to vacate the remaining portion of the private roadway easement,

NOW THEREFORE, Marlene E. Dickens, as the current title holder of Lots 18 and 20 in the auditor's plat of Blessing Acres 1st Addition in Scott County, Iowa except that portion thereof condemned by condemnation recorded as Document No. 23356-92 in the office of the Scott County Recorder hereby vacates the private roadway easement that affects Lots 18 and 20 as was shown on the auditor's plat of Blessing Acres 1st Addition.

This vacation of the private road easement shall also benefit and bind all successors and assigns of Marlene E. Dickens and future owners of Lots 18 and 20 in the auditor's plat of Blessing Acres 1st Addition.

IN WITNESS WHEREOF, Marlene E. Dickens and her husband Troy Dickens, have executed this Vacation of Private Roadway Easement on this 31st day of January 2008.

Marlene E. Dickens
Marlene E. Dickens

Troy Dickens
Troy Dickens

State of Illinois)
) ss
County of Rock Island)

Subscribed to and sworn before me this 31st day of January 2008.

Michael Gorsline
Notary Public



This instrument was prepared by
and should be returned to:
Frank L. Nowinski
KATZ, HUNTOON & FIEWEGER, P.C.
1000 36th Avenue
Moline, IL 61265
(309) 797-3000