

# Big 10 Mart

"Close, Fast and Friendly"

**BIG 10 MART MT. JOY**  
 20919 BRADY ST, DAVENPORT, IA 52804



**Client**  
 Big 10 Mart  
 123 Southern Ave  
 Dubuque, IA 52003



**Project**  
 Big 10 Mart Mt. Joy  
 20919 Brady St  
 Davenport, IA 52804



**General Contractor**  
 Hodge Construction Co. Inc.  
 767 52nd Avenue, Suite 201  
 Moline, IL 61265  
 309-762-7977



**Architect**  
 GTG Architects, LLC  
 6505 Merle Hay Road  
 Johnston, IA 50131  
 515-528-8178



**Structural Engineer**  
 Select Structural Engineering  
 2435 Kimberly Rd #240s  
 Bettendorf, IA 52722  
 563-359-3117



**Civil**  
 Townsend Engineering  
 2224 E. 12th Street  
 Davenport, IA 52803  
 563-368-4236

**DRAWING ISSUE SCHEDULE**

Date	Description
07/21/2023	SITE PLAN PERMIT
08/25/2023	SITE PLAN PERMIT P&Z RESUBMITTAL

Project Status: FEASIBILITY

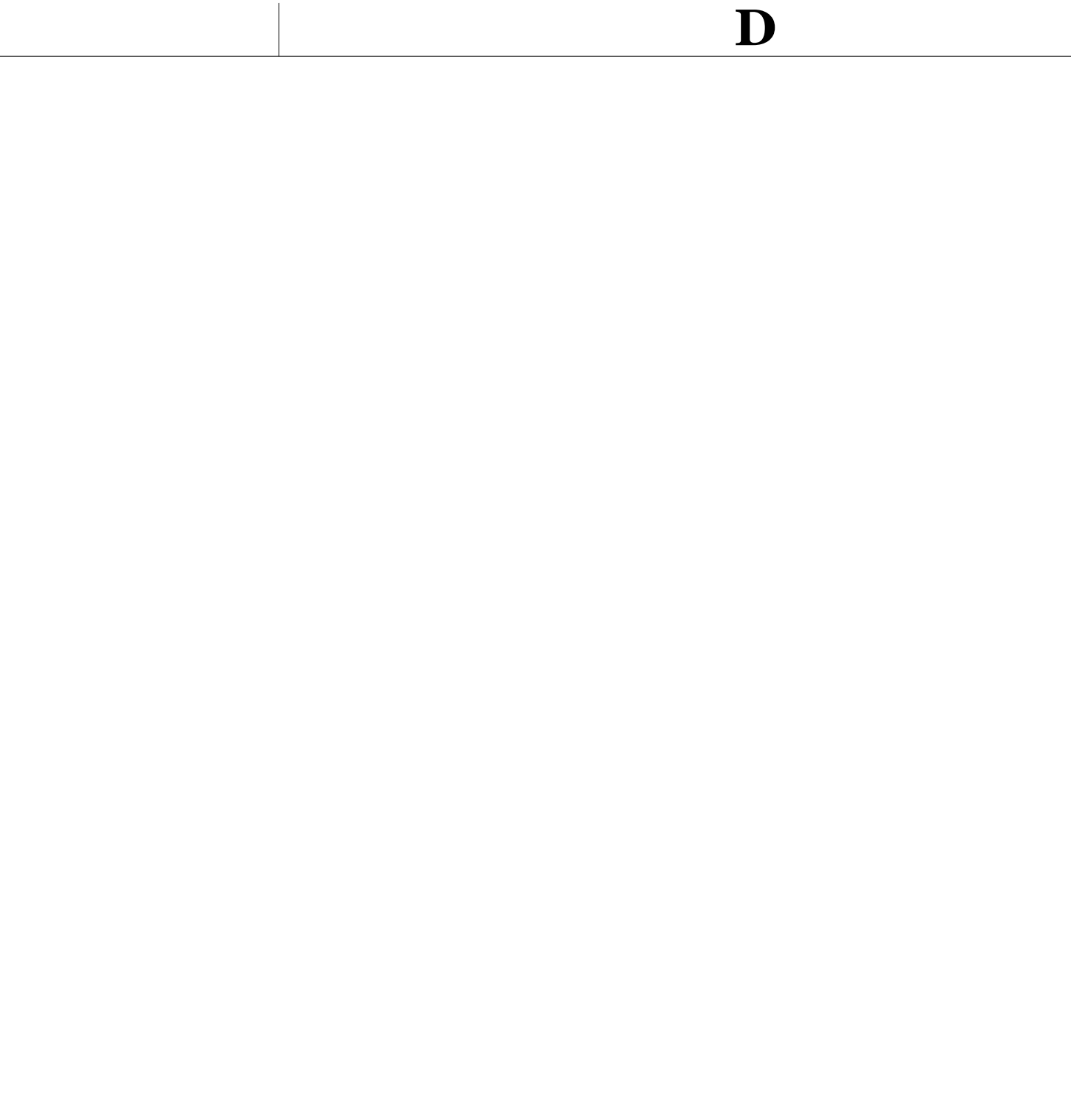
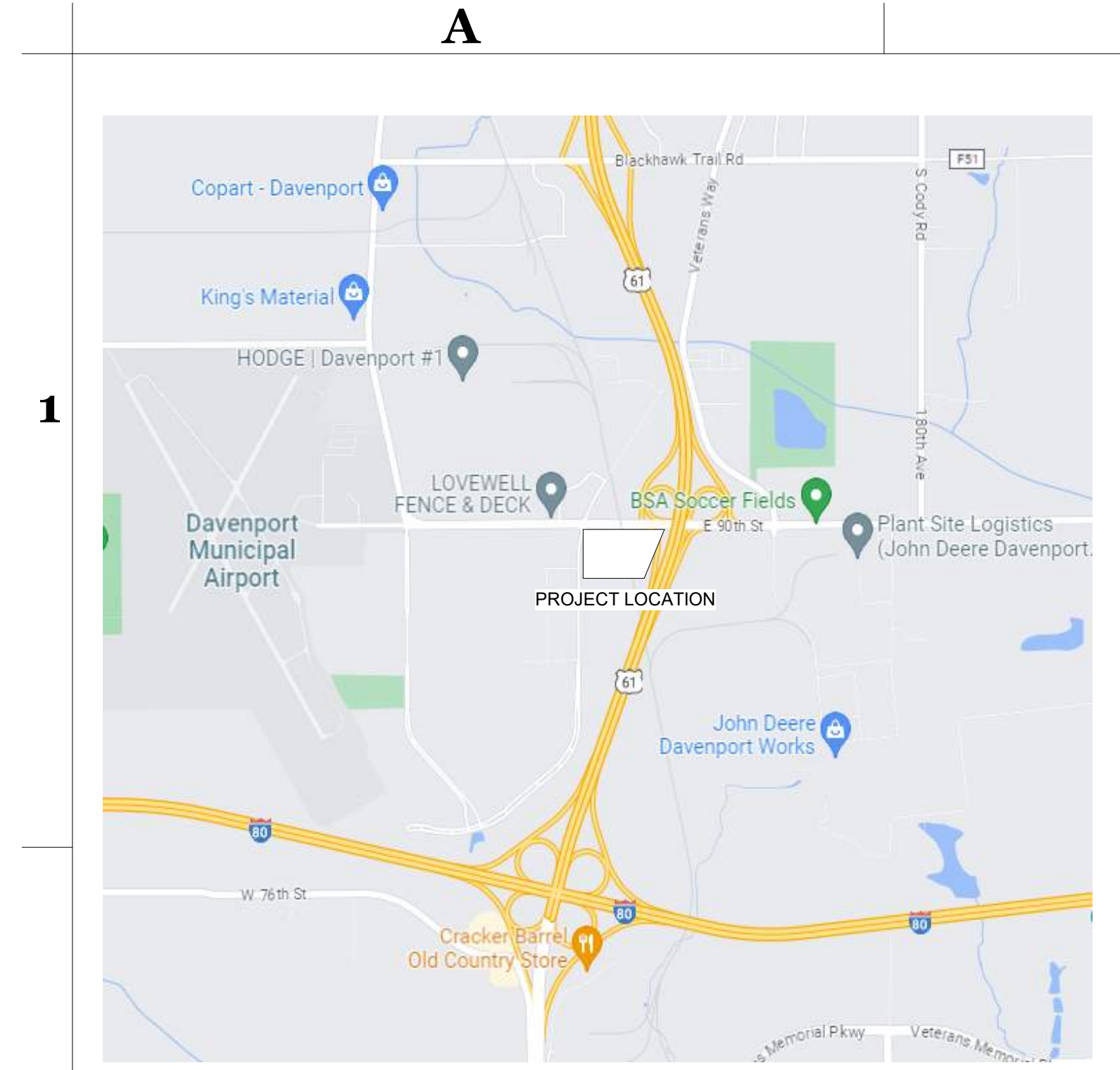
GTG A Job # 221067

GTG C Job # N/A

Project:  
**HCC BIG 10 MART MT JOY**

**COVER SHEET**

**CS**

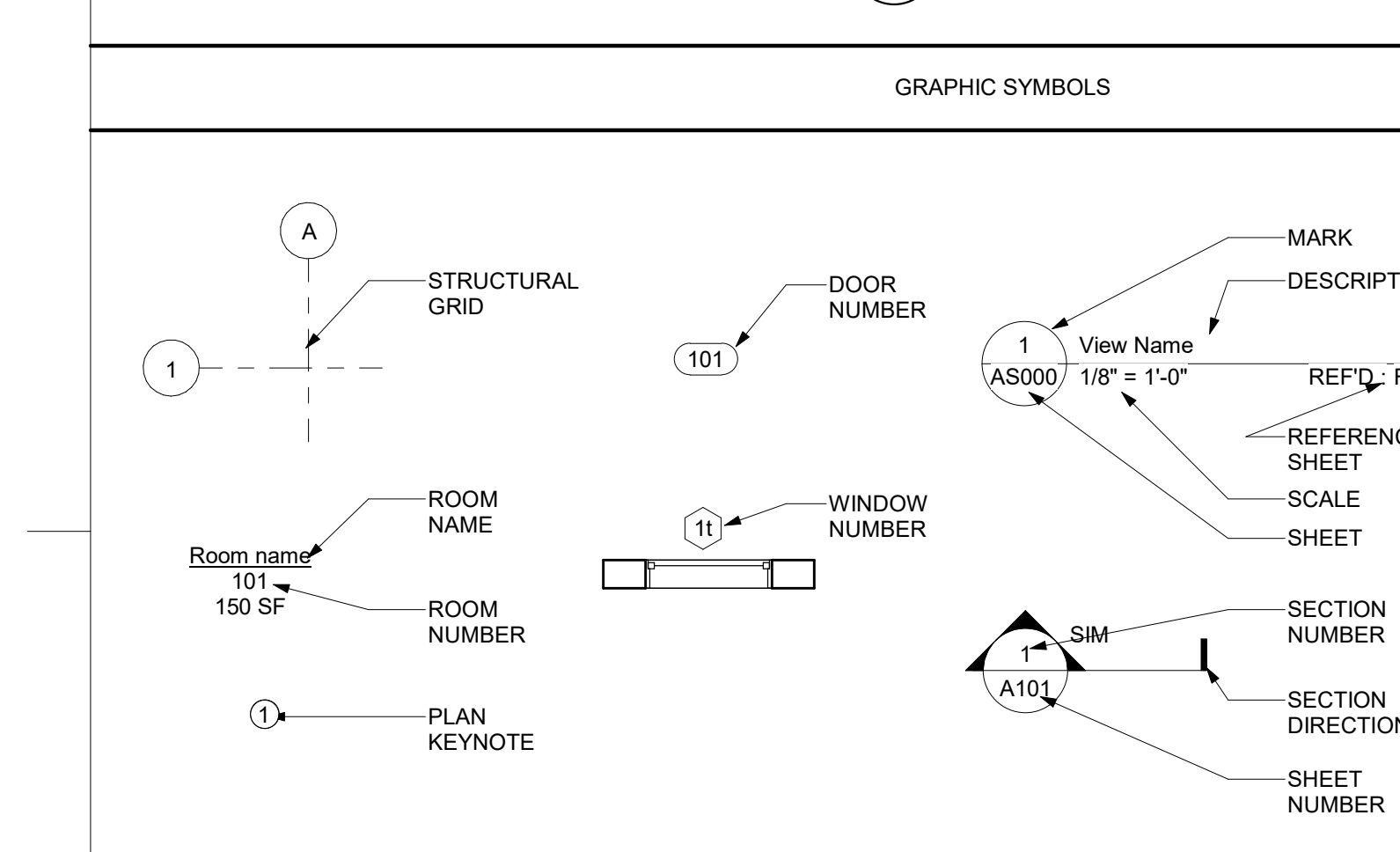


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*REFERENCED DRAWINGS*	
R100	SENECA FUEL TANK LAYOUT AND PIPING DIAGRAM
Grand total: 25	

1 VICINITY MAP

2 AERIAL VIEW

3 KEY PLAN



VERIFY ALL DIMENSIONS PRIOR TO STARTING WORK, NOTIFY ARCHITECT OF ANY DISCREPANCIES AS SOON AS THEY ARE FOUND.

**HVAC, Plumbing, Electrical & Fire Sprinkler: Design Provided by:**  
 Design/Build delivery method for each system. Successful bidder will be expected to provide what is needed to satisfy Authority Having Jurisdiction - including "stamped" drawings & calculations, if required.

STAMPS

ABBREVIATIONS

ABV	Above	ADJ	Adjustable	AGGR	Aggregate	ALUM	Aluminum	AHR	Anchor	AB	Anchor Bolt	APPROX	Approximate	ARCH	Architectural	A&E	Architectural & Engineering	ASI	Architectural Supplemental Information	BSMT	Basement	BM	Beam	BRG	Bearing	BFF	Below Finish Floor	BTWN	Between	BEV	Beveled	BLK	Block	BLKG	Blocking	BD	Board	BOTT	Bottom	BO	Bottom of	BOC	Bottom of Concrete	BOF	Bottom of Footing	BFE	Bottom of Footing Elevation	BOS	Bottom of Structure	BRK	Brick	BL	Brick Ledge	BLDG	Building	CAB	Cabinet	CPT	Carpet	CPTB	Carpet Base Trim	CPAD	Carpet Pad	CIP	Cast In Place	CLG	Ceiling	CTR	Center	CL	Centerline	CB	Ceramic Base	CT	Ceramic Tile	CHFR	Chamfer	CO	Change Order	C	Channel	CLR	Clear	COL	Column	CONC	Concrete	CMU	Concrete Masonry Unit	CONN	Connection	CONST	Construction	CD	Construction Documents	CONT	Continuous	CONTR	Contract	CI	Contractor Installed	CP	Contractor Provided	CTRL	Control	CJ	Control Joint	COORD	Coordinate	CG	Corner Guard	CORR	Corrugated	C-TOP	Countertop	CF	Cubic Feet	DEM	Demolition	DPHT	Depth	DTL	Detail	DIAG	Diagonal	DIA	Diameter	DIM	Dimension	DW	Dishwasher	DISP	Dispenser	DIV	Divide	DOR	Door	DBL	Double	DWL	Dowel	DN	Down	DNST	Downspout	DRW	Drawer	DWG	Drawing	DWTR	Dumbwater	EA	Each	EF	Each Face	EW	Each Way	E	East	ELEC	Electrical	EWC	Electrical Water Cooler	ELEV	Elevation	EL	Elevator	EPT	Epoxy Paint	EQ	Equal	EQUIP	Equipment	EST	Estimated	EPDM	Ethylene Propylene	EXST	Existing	EPS	Expanded Polystyrene Board	EXP	Expansion	EJ	Expansion Joint	EXT	Exterior	EIFS	Exterior Insulation & Finish System	FO	Face of	FOC	Face of Concrete	FOF	Face of Finish	FOM	Face of Masonry	FOS	Face of Stud	FOW	Face of Wall	FT	Feet	FV	Field Verify	FIN	Finish	FE	Finished End Panel	FFE	Finished Floor Elevation	FA	Fire Alarm	FEC	Fire Extinguisher Cabinet	FRT	Fire-Retardant Treated	FLR	Floor	FD	Floor Drain	FTG	Footing	LF	Light Feet	LOC	Location	LKR	Locker	LLH	Long Leg Horizontal	LLV	Long Leg Vertical	LONG	Longitudinal	LVR	Louver	LP	Low Point	GB	Grab Bar	GYP	Gypsum	GLU	Lam Glue Laminated (Beam)	MFR	Manufacturer	MAS	Masonry	MO	Masonry Opening	MATL	Material	MAX	Maximum	MECH	Mechanical	MDF	Medium Density Fiberboard	MTL	Metal	MEZZ	Mezzanine	MIN	Minimum	MIR	Mirrored	MISC	Miscellaneous	NOM	Nominal	NML	Normal	N	North	N/A	Not Applicable	NIC	Not in Contract	NTS	Not To Scale	NO	Number	JAN	Janitor	JT	Joint	JST	Joist	OC	On Center	OPNG	Opening	OPP	Opposite	OPP	Opposite Hand	HND	Knock Out	OPT	Optional	OD	Outside Diameter	OA	Overhead	OVHD	Overhead	OFCI	Owner Furnish, Contractor Install	OFI	Owner Furnish, Owner Install	OI	Owner Installed	OP	Owner Provided	PNT	Paint	PNL	Panel	PTD	Paper Towel Dispenser	PAR	Parallel	PTN	Partition	PED	Pedestal	PERF	Perforated	PERP	Perpendicular	PLAM	Plastic Laminate	PL	Plate	PLMBG	Plumbing	PLYWD	Plywood	PVC	Polyvinyl Chloride	PDF	Portable Document Format	PCC	Portland Cement Concrete	PSF	Pounds Per Square Foot	PSI	Pounds Per Square Inch	PAF	Powder Actuated Fastener	PRCST	Precast Concrete	PREFAB	Prefabricated	PREFIN	Prefinished	PT	Pressure Treated	PR	Proposal Request	R	Radius	REM	Recessed Entry Mat	REF	Reference	RCP	Reflected Ceiling Plan	REINF	Reinforced	RFI	Request for Information	RFP	Request for Proposal	REQ	Require	REQD	Required	RETG	Retaining	RA	Return Air	RVS	Reverse	REV	Revision	ROW	Right of Way	RH	Right-Hand	RHR	Right-Hand Reversed	RM	Room	RO	Rough Opening	RBR	Rubber	RB	Rubber Base	SHT	Sheet	SMS	Sheet Metal Screw	SCR	Shower Curtain Rod	SIM	Similar	SOG	Slab on Grade	SLDG	Sliding	SD	Soap Dispenser	SLDS	Solid Surface	S	South	SPEC	Specification	SB	Splash Back	SQ	Square	SF	Square Feet	SS	Stainless Steel	STD	Standard	STL	Steel	STN	Stone	STRUCT	Structural	SD	Stud	SA	Supply Air	SUSP	Suspended	SYS	System	TEMP	Temporary	TER	Terrazzo	THK	Thickness	THD	Threaded	THRU	Through	TBD	To Be Determined	TPD	Toilet Paper Dispenser	T&G	Tongue and Groove	T&B	Top and Bottom	TO	Top of	TOB	Top of Beam	TOC	Top of Concrete	TOF	Top of Footing	TFE	Top of Footing Elevation	TOFND	Top of Foundation	TOM	Top of Masonry	TOP	Top of Pier	TOS	Top of Steel	TOW	Top of Wall	TL	Total Load	TB	Towel Bar	TRANS	Transverse	T	Tread	TRTD	Treated	TS	Tube Steel	TYP	Typical	UH	Unit Heater	UNO	Unless Noted Otherwise	UTIL	Utility	V	Shear	VR	Vapor Retarder	VAR	Varies	VERT	Vertical	VCT	Vinyl Composition Tile	VNL	Vinyl Floor	VWC	Vinyl Wall Covering	WG	Wall Guard	WC	Water Closet	WT	Weight	WWF	Welded Wire Fabric	WWM	Welded Wire Mesh	W	West	WF (W)	Wide Flange	W	Width	WL	Wind Load	WDW	Window	W/	With	W/O	Without	WD	Wood	WB	Wood Base
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 GTG A Job # 221067  
 GTG C Job # N/A

Project: **HCC BIG 10 MART MT JOY**

**TITLE SHEET**

**TS**

1

2

3

4

PROPERTY DESCRIPTION:

LEGAL DESCRIPTION: PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 79 NORTH, RANGE 3 EAST OF THE 5TH P.M., PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 36; THENCE EAST 422.60 FEET; THENCE SOUTH 141.90 FEET; THENCE EAST 207.04 FEET MORE OR LESS TO THE WESTERLY RIGHT OF WAY LINE OF CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILWAY CO., THENCE IN A SOUTHEASTERLY DIRECTION ALONG THE WESTERLY LINE OF SAID RAILWAY COMPANY'S RIGHT OF WAY TO A POINT DUE EAST OF AND 449.90 FEET SOUTH OF THE NORTHWEST CORNER OF SECTION 36; THENCE DUE WEST TO THE WEST LINE OF SAID SECTION 36 AND THE CENTER OF DUBUQUE ROAD; THENCE NORTH ALONG THE CENTER OF DUBUQUE ROAD AND THE WEST LINE OF SAID SECTION 36 449.90 FEET TO THE PLACE OF BEGINNING, EXCEPT THAT TRACT COVETED TO THE STATE OF IOWA BY WARRANTY DEED RECORDED AS DOCUMENT NO. 396-80 IN THE OFFICE OF THE RECORDER OF SCOTT COUNTY, IOWA.

SUBJECT TO EASEMENTS, RESTRICTIONS AND COVENANTS OF RECORD, SUBJECT TO THE RIGHTS OF TENANTS IN POSSESSION.

PROPERTY ADDRESS:

20919 BRADY ST, DAVENPORT, IA 52804.

RECORD PROPERTY OWNER / APPLICANT:

MOLO COMPANIES 123 SOUTHERN AVE, DUBUQUE, IA 52003

CONTACT : GLENN HASKEN : (563) 557-7540 GHASKEN@MOLOCOMPANIES.COM

PLAN PREPARER INFORMATION:

GTG ARCHITECTS 6505 MERLE HAY ROAD JOHNSTON, IA 50131 P 515.528.8178

CONTACT: TYLER VINCENT TVINCENT@GTGCOMPANIES.COM

ZONING REQUIREMENTS:

EXISTING SITE: C-2 COMMERCIAL & LIGHT INDUSTRIAL DISTRICT
PROPOSED SITE: C-2 COMMERCIAL & LIGHT INDUSTRIAL DISTRICT GAS STATION (C-1 USE, ALLOWED IN C-2)
EXISTING ZONING WITHIN 250' OF SITE: AG-PRESERVATION SINGLE-FAMILY RESIDENTIAL AG-GENERAL

EXISTING LANDUSE:

RESIDENTIAL DUPLEX / NURSERY

PROPOSED USE OF SITE:

GAS STATION / CONVENIENCE STORE

PROPERTY SETBACK AND STANDARDS:

MINIMUM PRIMARY FRONTAGE: N/A
FRONT SETBACK: 50 FT
SIDE SETBACK: 10 FT
REAR SETBACK: 20 FT
MAXIMUM HEIGHT: 45 FT
MAXIMUM IMPERVIOUS AREA: N/A
ADDITIONAL SEMI-IMPERVIOUS AREA: N/A
MINIMUM OVERALL HEIGHT: 1 STORIES
MAXIMUM STORIES: 3 STORIES
MINIMUM HEIGHT PER STORY: N/A
MAXIMUM HEIGHT PER STORY: N/A

BUILDING AREA:

BUILDING: CONVENIENCE STORE 5,000 SF
CAR WASH 1,250 SF

NUMBER OF EMPLOYEES:

ESTIMATED NUMBER OF EMPLOYEES (FTE): 5

EXISTING AND PROPOSED LIGHTING:

EXISTING LIGHTING: UNKNOWN QUANTITY
PROPOSED LIGHTING: CANOPY: TBD
BUILDING: 10 WALL LIGHTS
LIGHT POLES: 5

LANDSCAPE REQUIREMENTS:

RE: AS103 FOR LANDSCAPING

TREE IDENTIFICATION AND MITIGATION:

EXISTING TREES TWELVE-INCHES IN CALIPER OR GREATER: 5
EXISTING TREES TWELVE-INCHES IN CALIPER OR GREATER TO BE REMOVED: 5

IMPERVIOUS SURFACE AREA:

Table with 4 columns: Category, Area (SF), (% IMPERVIOUS), (% PERVIOUS). Rows for Existing and Proposed site areas.

IMPACTED PROJECT AREA / SEQUENCING:

IMPACTED PROJECT AREA: 122,711 SF [ 2.81 AC ]

PERMITS AND APPLICATIONS:

- 1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A SIDEWALK AND DRIVEWAY APPROACH PERMIT FROM THE AHJ.
2. CONTRACTOR IS RESPONSIBLE FOR GRADING PERMIT APPLICATION AND APPLICABLE FEES FROM THE AHJ.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING SIGN PERMIT FOR ANY EXTERIOR MONUMENT, DIRECTORY OR BUILDING-MOUNTED SIGNS FROM THE AHJ.

AHJ NOTES:

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE URBAN DESIGN AND SPECIFICATIONS (SUDAS) AND SUPPLEMENTAL SPECIFICATIONS, CURRENT AT THE COMMENCEMENT OF CONSTRUCTION.
2. ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION / CONSTRUCTION.
3. THIS SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF SITE PLAN APPROVAL.
4. ANY NEW ROOFTOP MECHANICAL EQUIPMENT MUST BE SCREENED FROM STREET LEVEL VIEW.
5. TRANSFORMERS, JUNCTION BOXES, AIR CONDITIONERS OVER 3 FEET IN HEIGHT, OR OTHER SUCH ITEMS MAY NOT BE LOCATED IN THE REQUIRED SETBACK AREAS.
6. LIGHTING MUST BE LOW CLARE CUT OFF TYPE FIXTURES TO REDUCE THE GLARE OF LIGHT POLLUTION ON SURROUNDING PROPERTIES.
7. THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
8. ALL DISTURBED AREAS SHOULD BE RESTORED BY SEEDING OR SODDING.

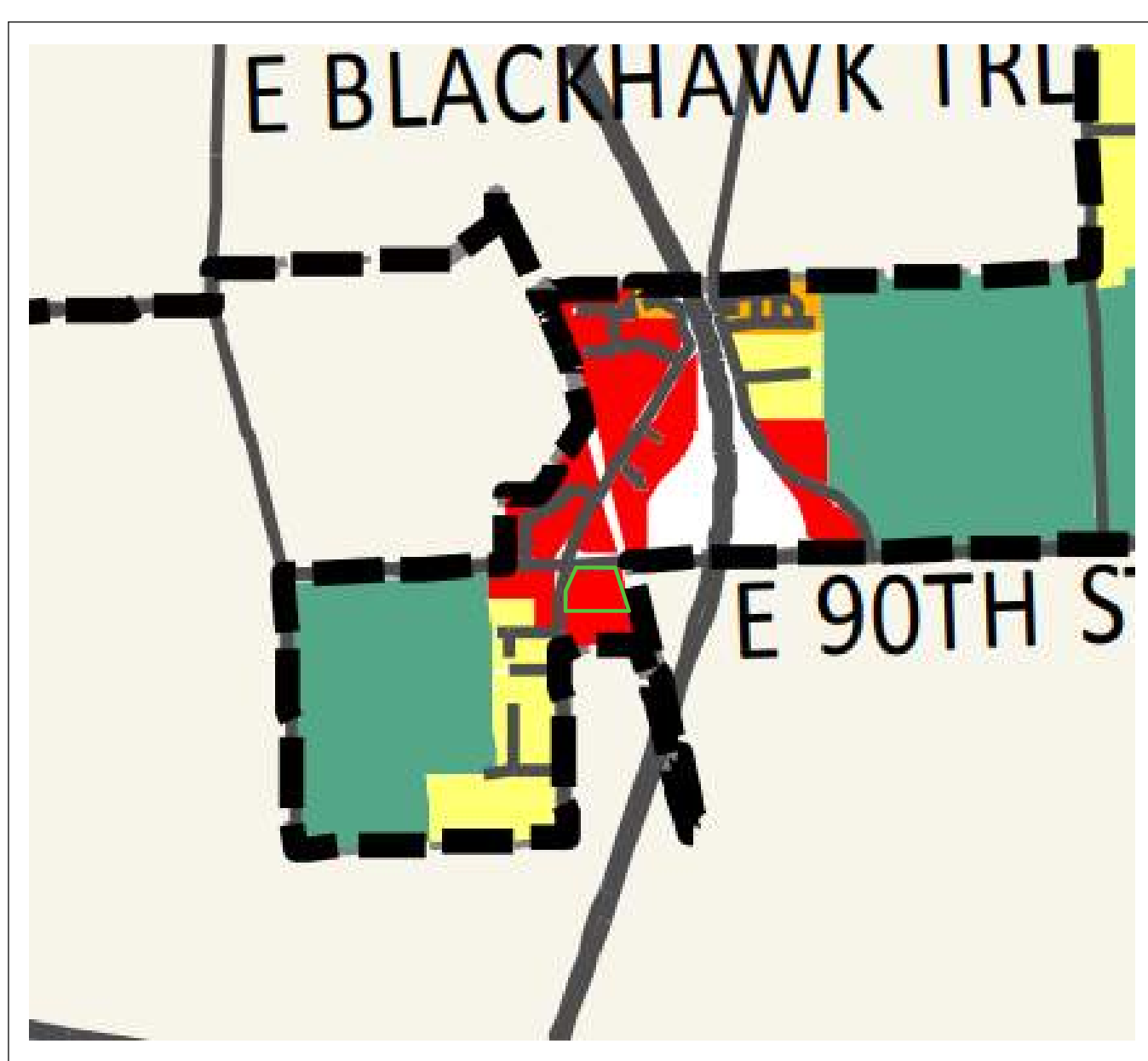
OFF STREET PARKING:

Table with 2 columns: Category, Spacing. Rows for Required (General Commercial Uses, Retail Sales, Office Use, Dining Use) and Provided (27 ADA Spaces, 2 ADA Spaces).

GENERAL NOTES:

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH AND IN COMPLIANCE WITH AHJ REQUIREMENTS. ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION/CONSTRUCTION.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE URBAN DESIGN AND SPECIFICATIONS (SUDAS) AND SUPPLEMENTAL SPECIFICATIONS, CURRENT AT THE COMMENCEMENT OF CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING TRAFFIC CONTROL IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" US DEPARTMENT OF TRANSPORTATION. APPROPRIATE PEDESTRIAN CONTROL DEVICES SHALL ALSO BE IMPLEMENTED.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES PER DRAWINGS AND SPECIFICATIONS. ALL WORK AND MATERIALS SHALL MEET OR EXCEED MINIMUM STANDARDS AS REQUIRED BY NPDES. MAINTENANCE OF EROSION CONTROL MEASURES SHALL CONTINUE UNTIL ACCEPTANCE AND CLOSURE OF THE NPDES PERMIT.
5. ALL DEBRIS SPILLED ON THE PUBLIC RIGHTS-OF-WAY OR ADJOINING PROPERTY SHALL BE REMOVED BY CONTRACTOR IN A TIMELY FASHION. NO STORAGE OF MATERIALS SHALL BE ALLOWED IN PUBLIC RIGHT-OF-WAY.
6. NO CONSTRUCTION TRAILERS OR TEMPORARY PROJECT SIGNS SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE OWNER.
7. THE CONTRACTOR SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES AND PROTECT ALL UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BEAR THE COST OF ALL PRIVATE LOCATES ON PRIVATE PROPERTY. THE CONTRACTOR SHALL NOTIFY OWNER AND "IOWA ONE CALL" ONE (1) WEEK PRIOR TO COMMENCING EXCAVATION, GRADING OR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON DAMAGE TO ANY UTILITY LINE OR APPURTENANCE OR THE INTERRUPTION OF THEIR SERVICE. DAMAGE TO UTILITIES AND STRUCTURES (CURBS, PAVEMENT, ETC.) SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
8. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL & DISPOSAL OF ANY DELETERIOUS AND EXCESS MATERIAL FROM THE SITE. ON-SITE DISPOSAL OF TREES, BRUSH OR OTHER DEBRIS SHALL NOT BE ALLOWED.
9. ALL WORK SHALL BE DONE IN COMPLIANCE WITH CURRENT OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ALL NECESSARY SAFETY REGULATIONS.
10. THE MEANS AND METHODS OF THE WORK AND THE SAFETY OF THE CONTRACTOR'S EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
11. NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION BY THE OWNER.
12. REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.
13. MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
14. RECONNECT ANY FIELD TILE THAT ARE INTERCEPTED DURING CONSTRUCTION.
15. ALL DIMENSIONS ARE TO OUTSIDE OF BUILDING WALL AND TO PROPERTY LINE UNLESS OTHERWISE NOTED.
16. ALL STRUCTURES AND APPURTENANCES SHALL BE ADJUSTED TO GRADE AS NECESSARY. SITE SHALL BE GRADED TO AVOID SITUATION OF THESE APPURTENANCES WITHIN DRAINAGE COURSE OR LOW SPOT.
17. ALL UTILITY AND PAVING WORK IN ROW SHALL BE COMPLETED IN ONE 48 HOUR PERIOD.
18. SITE CLEAN UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AT ALL TIMES.
19. ALL OPEN EXCAVATIONS SHALL BE PROTECTED.
20. ANY WORK REQUIRED TO COMPLETE THE SCOPE OF THIS PROJECT BUT NOT SPECIFICALLY CALLED OUT, SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THE COMPLETION OF THIS WORK.
21. WORK WHICH DOES NOT CONFORM TO THE REQUIREMENTS OF THE CONTRACT WILL BE CONSIDERED UNACCEPTABLE. UNACCEPTABLE WORK, WHETHER THE RESULT OF POOR WORKMANSHIP, USE OF DEFECTIVE MATERIALS, DAMAGES THROUGH CARELESSNESS OR ANY OTHER CAUSE FOUND TO EXIST PRIOR TO THE FINAL ACCEPTANCE OF THE WORK, SHALL BE REMOVED AND REPLACED IN AN ACCEPTABLE MANNER, AS REQUIRED BY THE ARCHITECT AT THE CONTRACTOR'S EXPENSE. WORK DONE CONTRARY TO THE CONTRACT, WORK DONE BEYOND THE LINES SHOWN ON THE PLANS OR ANY EXTRA WORK DONE WITHOUT AUTHORITY WILL NOT BE PAID FOR.
22. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR WORK TO BE PERFORMED FOR THE PROJECT AND IS RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS SET FORTH WITHIN THE PERMITS. ALL WORK SHALL COMPLY WITH CURRENT STATE AND LOCAL CODES. INSPECTION SCHEDULING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
23. CONTRACTOR SHALL APPLY FOR A GRADING PERMIT AND PROVIDE EROSION CONTROL MEASURES DURING CONSTRUCTION.
24. ALL SIDEWALKS & WALKWAYS SHALL HAVE A CROSS SLOPE NOT GREATER THAN 2%. CONTRACTOR TO CHECK SLOPE PRIOR TO CONCRETE INSTALLATION AND CORRECT ANY AREAS AS NECESSARY.

VICINITY AND ADJACENT ZONING MAP:



ZONING KEY:
C-1 - NEIGHBORHOOD RETAIL COMMERCIAL DISTRICT
NPC - NEIGHBORHOOD PEDESTRIAN COMMERCIAL DISTRICT
R1-80 - ONE FAMILY, LOW DENSITY RESIDENTIAL DISTRICT
R-3 - MULTIPLE FAMILY RESIDENTIAL DISTRICT

Color code legend for marking underground utility lines (Red, Yellow, Orange, Blue, Green, Pink, White) and Iowa One Call Positive Response System information.



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563-359-3117

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563-368-4236



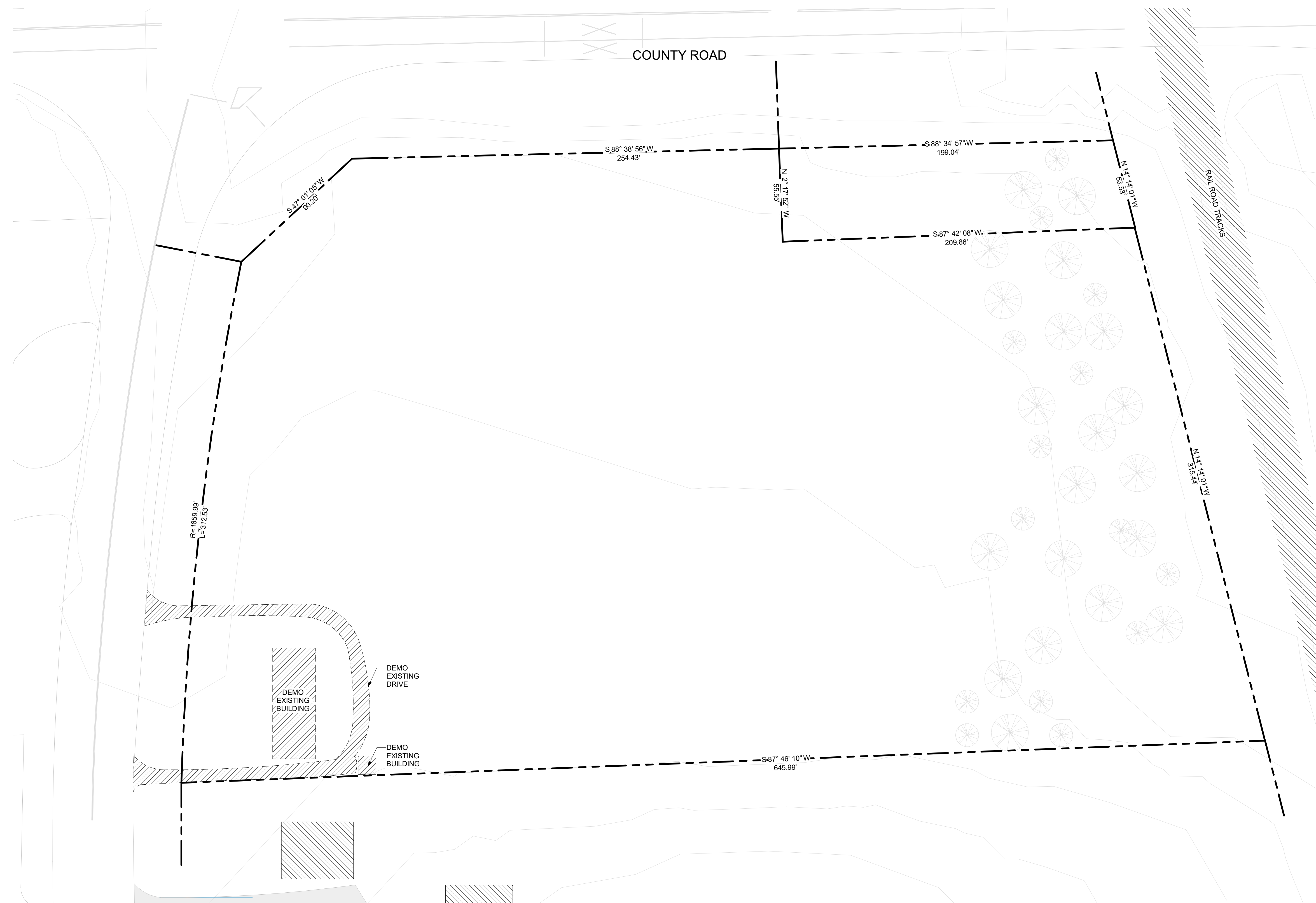
Drawing Issue Schedule table with columns for Date and Description. Entries include 07/21/2023 SITE PLAN PERMIT and 08/25/2023 SITE PLAN PERMIT P&Z RESUBMITTAL.

Table with 2 columns: Date and Description. It is mostly empty with a few entries.

Project Status: FEASIBILITY
GTG A Job # 221067
GTG C Job # N/A
Project: HCC BIG 10 MART MT JOY

ARCHITECTURAL SITE PLAN NOTES

AS000



A3 SITE PLAN - DEMO  
 DAS100 1/32" = 1'-0" REF'D: A200  
 SCALE: 1" = 20'-0"

**GENERAL DEMOLITION NOTES:**

- = ITEMS TO BE REMOVED OR SALVAGED (SEE KEYNOTE)
- = EXISTING ITEMS TO REMAIN

**DEFINITIONS:**

- A. REMOVE = COMPLETE DEMOLITION OF THE ITEM AND REMOVAL FROM THE JOBSITE
  - B. SALVAGE = CAREFULLY REMOVE THE ITEM FOR REUSE
1. VERIFY WITH OWNER ITEMS TO BE SALVAGED
  2. NOTIFY OWNER A MINIMUM OF 48 HOURS IN ADVANCE PRIOR TO DISCONNECTING OR INTERRUPTING ANY SERVICE
  3. IF ANY POTENTIALLY HAZARDOUS MATERIALS ARE DISCOVERED, DO NOT REMOVE THEM, BUT NOTIFY THE OWNER IMMEDIATELY
  4. DIMENSIONS ARE TO INTERIOR FACE OF WALL OR TO CENTERLINE OF COLUMN
  5. REMOVE ALL ABANDONED UTILITIES TO THE PERIMETER OF THE SPACE. THIS INCLUDES ABANDONED DUCTWORK, CONDUIT, PIPING, AND WIRE
  6. FOR UTILITIES THAT EXTEND BELOW THE FLOOR, CUT AND CAP THEM OFF JUST BELOW THE FLOOR AND RESTORE THE CONCRETE FLOOR
  7. VERIFY NEW LOCATION OF ITEMS TO BE SALVAGED
  - 8.



**Client**  
 Big 10 Mart  
 123 Southern Ave  
 Dubuque, IA 52003

**Project**  
 Big 10 Mart Mt. Joy  
 20919 Brady St  
 Davenport, IA 52804

**General Contractor**  
 Hodge Construction Co. Inc.  
 767 52nd Avenue, Suite 201  
 Moline, IL 61265  
 309-762-7977

**Architect**  
 GTG Architects, LLC  
 6505 Merle Hay Road  
 Johnston, IA 50131  
 515-528-8178

**Structural Engineer**  
 Select Structural Engineering  
 2435 Kimberly Rd #240s  
 Bettendorf, IA 52722  
 563-359-3117

**Civil**  
 Townsend Engineering  
 2224 E. 12th Street  
 Davenport, IA 52803  
 563-368-4236

**DRAWING ISSUE SCHEDULE**

Date	Description
08/25/2023	SITE PLAN PERMIT P&Z RESUBMITTAL

Project Status: FEASIBILITY  
 GTG A Job # 221067  
 GTG C Job # N/A  
 Project:  
**HCC BIG 10 MART MT JOY**

**DEMO ARCHITECTURAL SITE PLAN**

**DAS100**



**Client**  
 Big 10 Mart  
 123 Southern Ave  
 Dubuque, IA 52003

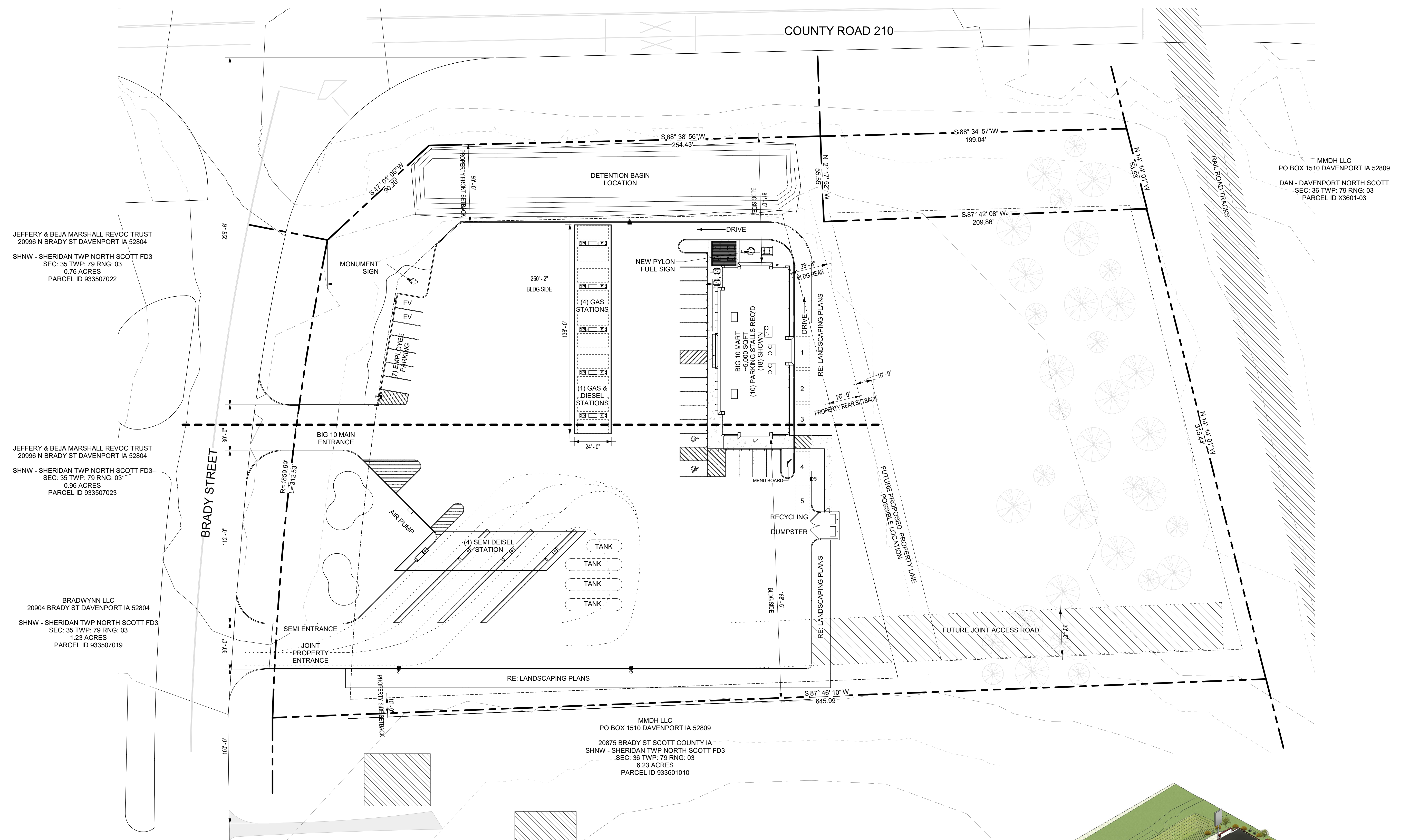
**Project**  
 Big 10 Mart Mt. Joy  
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 Davenport, IA 52804

**General Contractor**  
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 563-368-4236



JEFFERY & BEJA MARSHALL REVOC TRUST  
 20996 N BRADY ST DAVENPORT IA 52804  
 SHNW - SHERIDAN TWP NORTH SCOTT FD3  
 SEC. 35 TWP: 79 RNG: 03  
 0.76 ACRES  
 PARCEL ID 933507022

JEFFERY & BEJA MARSHALL REVOC TRUST  
 20996 N BRADY ST DAVENPORT IA 52804  
 SHNW - SHERIDAN TWP NORTH SCOTT FD3  
 SEC. 35 TWP: 79 RNG: 03  
 0.96 ACRES  
 PARCEL ID 933507023

BRADWYNN LLC  
 20904 BRADY ST DAVENPORT IA 52804  
 SHNW - SHERIDAN TWP NORTH SCOTT FD3  
 SEC. 35 TWP: 79 RNG: 03  
 1.23 ACRES  
 PARCEL ID 933507019

MMDH LLC  
 PO BOX 1510 DAVENPORT IA 52809  
 20875 BRADY ST SCOTT COUNTY IA  
 SHNW - SHERIDAN TWP NORTH SCOTT FD3  
 SEC. 36 TWP: 79 RNG: 03  
 6.23 ACRES  
 PARCEL ID 933601010



**GENERAL NOTES:**

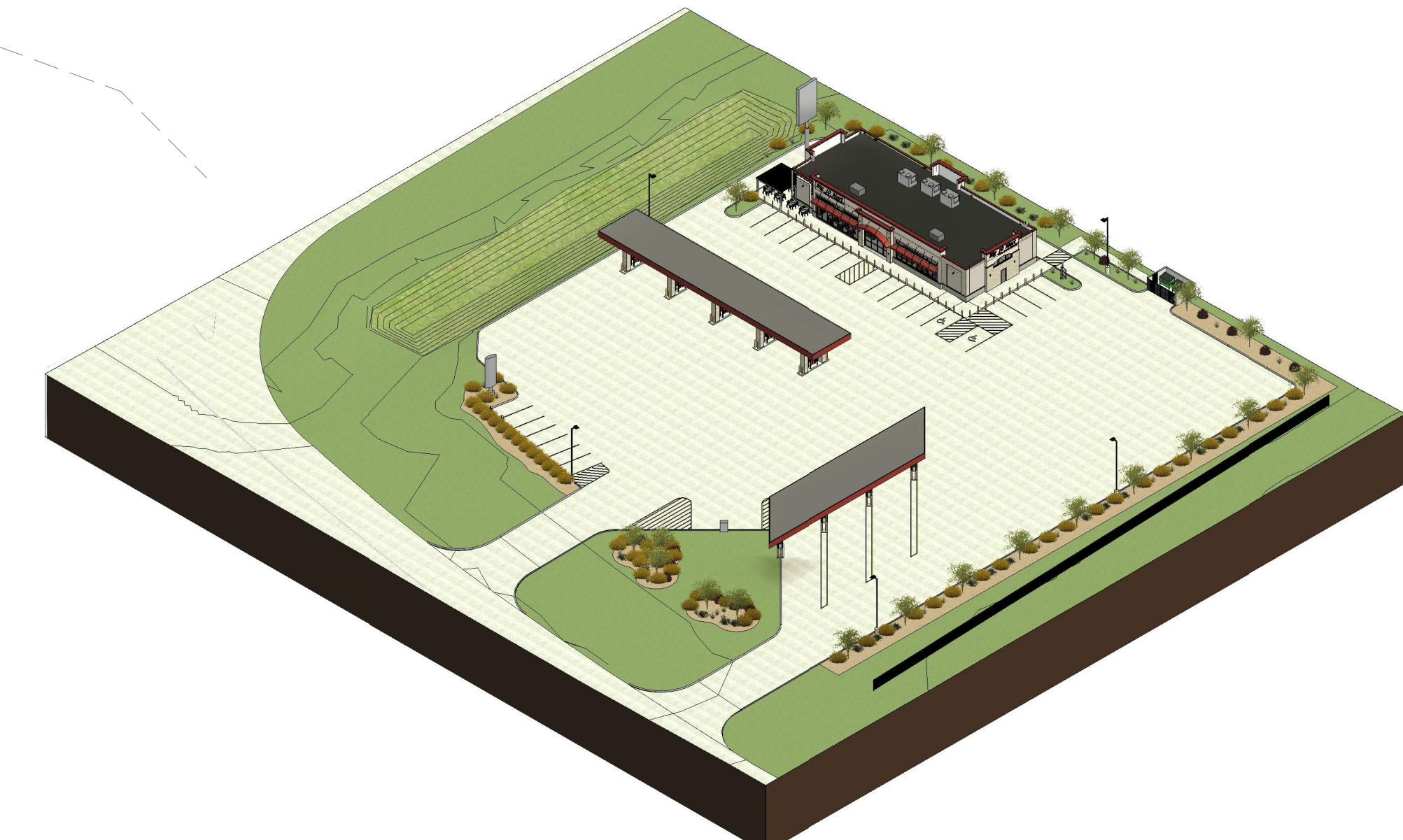
1. THIS SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL COUNTY CODES APPLICABLE ON THE DATE OF SITE PLAN APPROVAL.
2. PRIMARY BUILD TO REQUIREMENTS AND HEIGHTS, RE: AS000.
3. RE: LANDSCAPE PLANS FOR TREE & SHRUB PLANTINGS.
4. WHEN APPLICABLE: ALL ROOFTOP MECHANICAL EQUIPMENT MUST BE SCREENED ON ALL SIDES.
5. LIGHTING MUST BE LOW GLARE CUT OFF TYPE FIXTURES TO REDUCE THE GLARE OF LIGHT POLLUTION ON SURROUNDING PROPERTIES.
6. TRASH BINS / DUMPSTERS TO BE STORED AT THE REAR OF THE PROPERTY AND SCREENED FROM VIEW IN APPROVED TRASH ENCLOSURE.
7. MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM ANY PUBLIC WAY WITH LANDSCAPING, FENCING, OR WALLS SNSISTENT WITH BUILDING DESIGN, COLORS, AND MATERIALS.

**PAVING NOTES:**

1. THE 2022 EDITION OF SUDAS STANDARDS SPECIFICATIONS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. NEW CURB DIMS ARE TO BACK OF CURB.
3. PARKING ISLAND DIMS ARE TO BACK OF CURB.
4. 1/2" EXPANSION JOINTS IN ALL CONCRETE.
5. ALL NEW CONCRETE SIDEWALK: 4" PCC @ 4000 PSI
6. ALL NEW CONCRETE DRIVE AISLES: 7" PCC @ 4000 PSI
7. ALL NEW CONCRETE DRIVE APPROACH: 8" PCC @ 4000 PSI
8. MODIFIED SUBBASE, RE: A3 / AS111
9. SIDEWALK SUBBASE, RE: C3 / AS111

**LANDSCAPE NOTES:**

1. RE: LANDSCAPE PLANS FOR ELEMENTS & QUANTITIES



**DRAWING ISSUE SCHEDULE**

Date	Description
07/21/2023	SITE PLAN PERMIT
08/25/2023	SITE PLAN PERMIT P&Z RESUBMITTAL

Project Status: FEASIBILITY

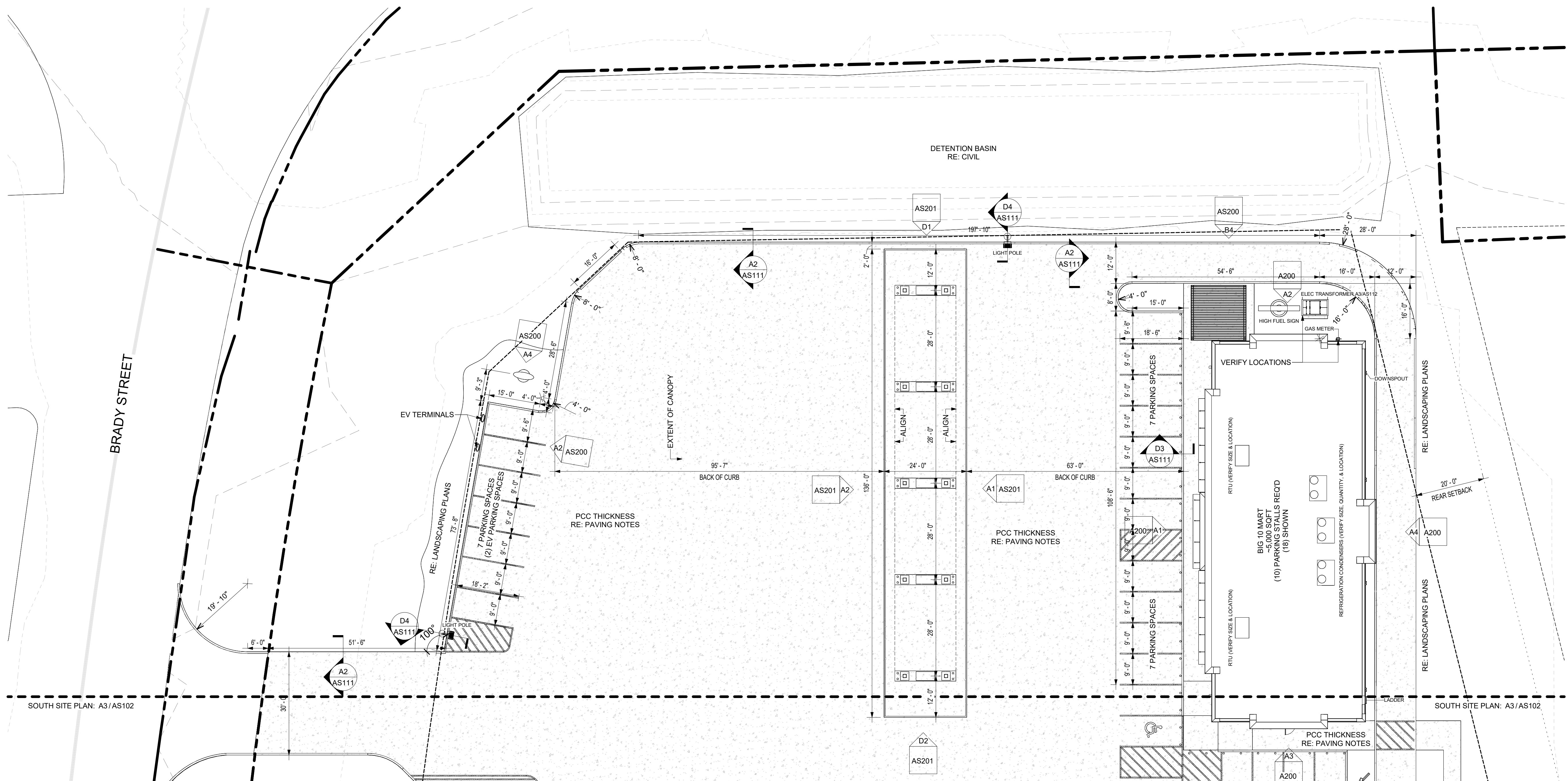
GTG A Job # 221067

GTG C Job # N/A

Project:  
**HCC BIG 10 MART MT JOY**

**ARCHITECTURAL SITE PLAN**

**AS100**



**Client**  
 Big 10 Mart  
 123 Southern Ave  
 Dubuque, IA 52003

**Project**  
 Big 10 Mart Mt. Joy  
 20919 Brady St  
 Davenport, IA 52804

**General Contractor**  
 Hodge Construction Co. Inc.  
 767 52nd Avenue, Suite 201  
 Moline, IL 61265  
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**Architect**  
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 515-528-8178

**Structural Engineer**  
 Select Structural Engineering  
 2435 Kimberly Rd #240s  
 Bettendorf, IA 52722  
 563-359-3117

**Civil**  
 Townsend Engineering  
 2224 E. 12th Street  
 Davenport, IA 52803  
 563-368-4236

DRAWING ISSUE SCHEDULE

Date	Description
08/25/2023	SITE PLAN PERMIT P&Z RESUBMITTAL

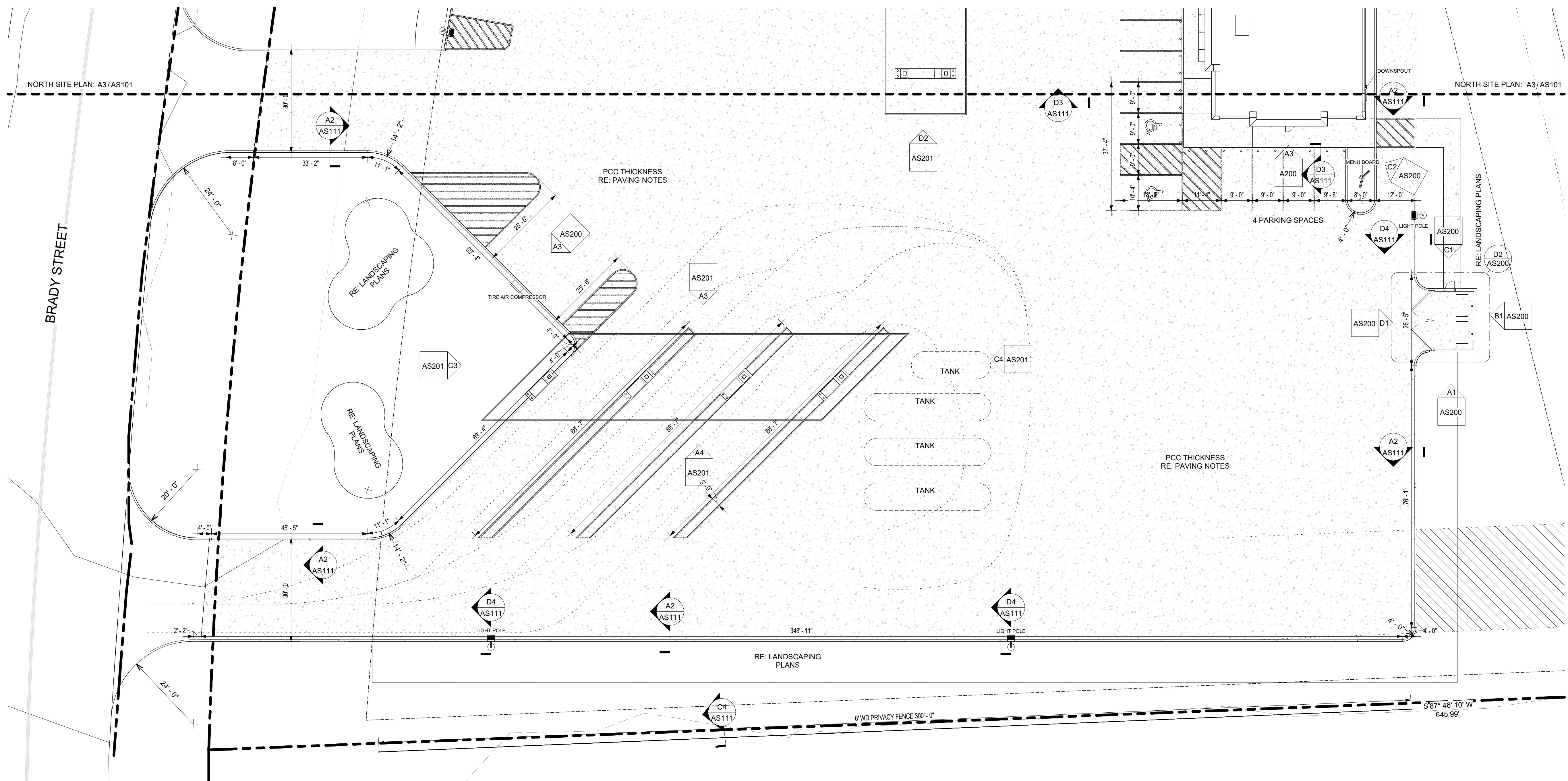
Project Status: FEASIBILITY  
 GTG A Job # 221067  
 GTG C Job # N/A  
 Project:  
**HCC BIG 10 MART MT JOY**

**ARCHITECTURAL SITE PLAN - NORTH**

**AS101**

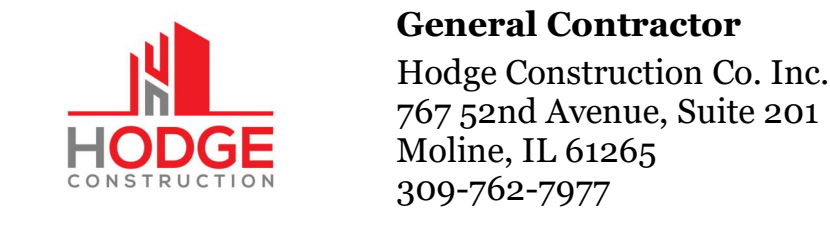


- NOTES:**
1. RE: ADD'T NOTES ON AS100.
  2. LANDSCAPING RE: LANDSCAPE PLANS.
  3. GRADING RE: CIVIL.
  4. RE: PCC THICKNESS ON AS100.

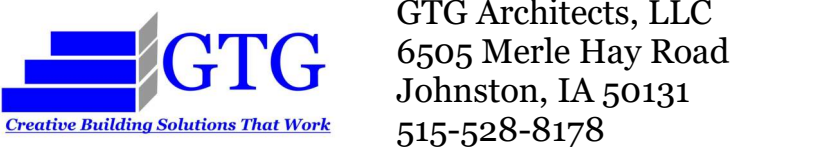


**Client**  
Big 10 Mart  
123 Southern Ave  
Dubuque, IA 52003

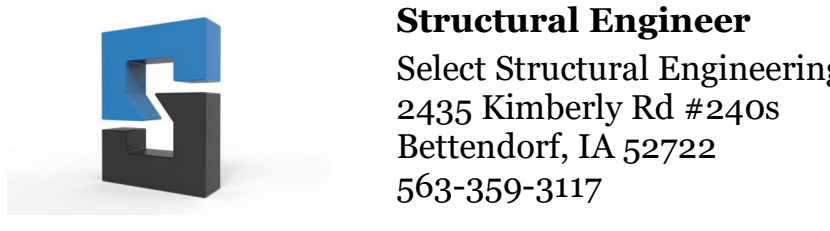
**Project**  
Big 10 Mart Mt. Joy  
20919 Brady St  
Davenport, IA 52804



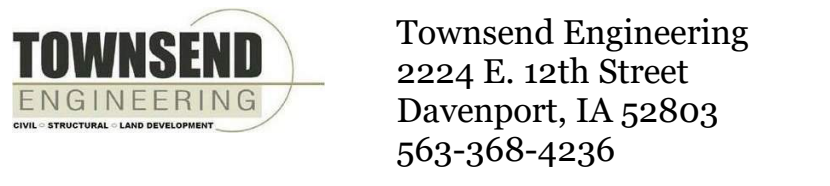
**General Contractor**  
Hodge Construction Co. Inc.  
767 52nd Avenue, Suite 201  
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**Architect**  
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**Structural Engineer**  
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**Civil**  
Townsend Engineering  
2224 E. 12th Street  
Davenport, IA 52803  
563-368-4236

DRAWING ISSUE SCHEDULE

Date	Description
08/25/2023	SITE PLAN PERMIT P&Z RESUBMITTAL

Project Status: FEASIBILITY  
GTG A Job # 221067  
GTG C Job # N/A  
Project:  
**HCC BIG 10 MART MT JOY**

**ARCHITECTURAL SITE PLAN - SOUTH**

**AS102**



- NOTES:**
- RE: ADD'T NOTES ON AS100.
  - LANDSCAPING RE: LANDSCAPE PLANS
  - GRADING RE: CIVIL
  - RE: PCC THICKNES ON AS100.

A

B

C

D

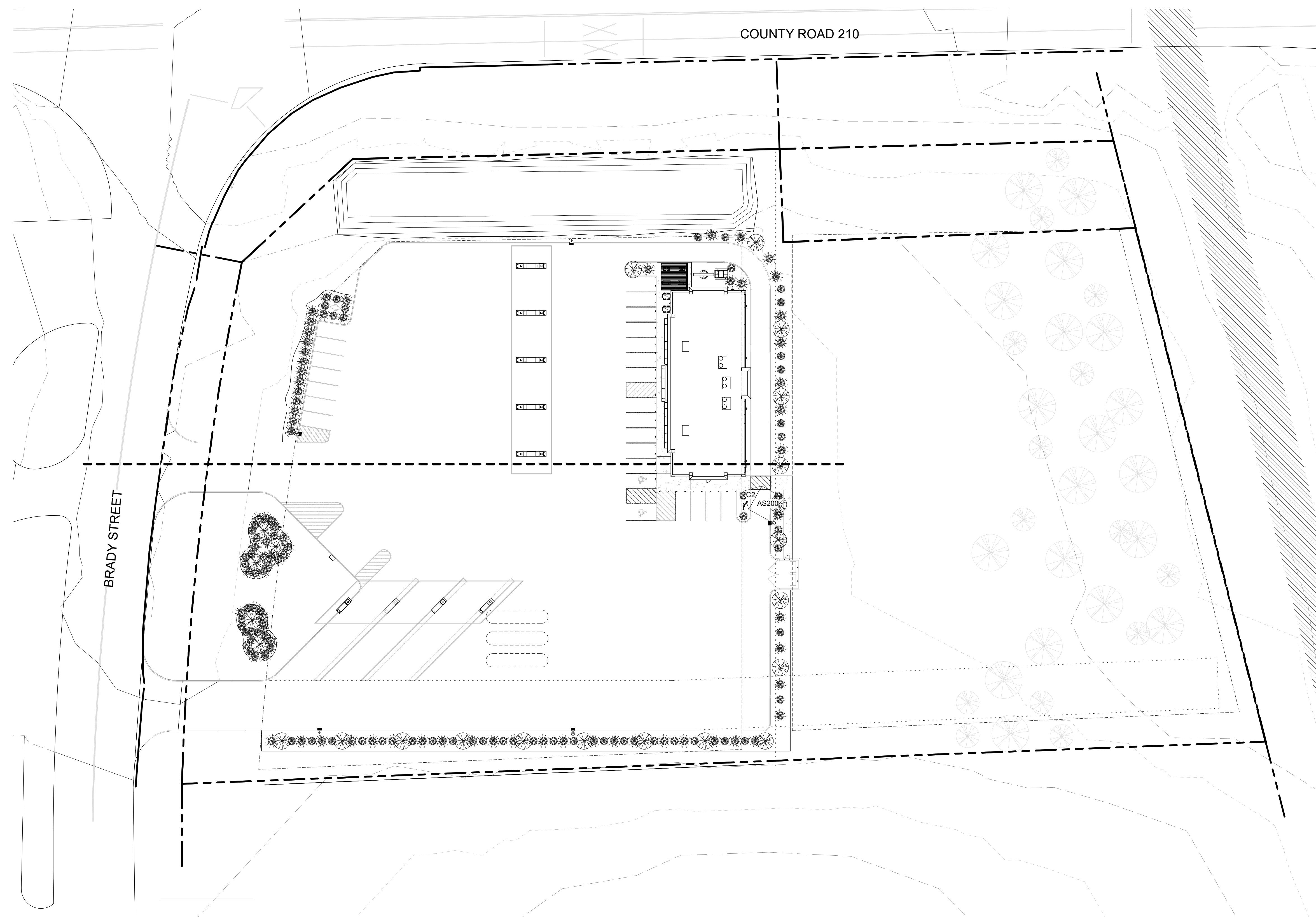
E

1

2

3

4



**Client**  
Big 10 Mart  
123 Southern Ave  
Dubuque, IA 52003

**Project**  
Big 10 Mart Mt. Joy  
20919 Brady St  
Davenport, IA 52804

**General Contractor**  
Hodge Construction Co. Inc.  
767 52nd Avenue, Suite 201  
Moline, IL 61265  
309-762-7977

**Architect**  
GTG Architects, LLC  
6505 Merle Hay Road  
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515-528-8178

**Structural Engineer**  
Select Structural Engineering  
2435 Kimberly Rd #240s  
Bettendorf, IA 52722  
563-359-3117

**Civil**  
Townsend Engineering  
2224 E. 12th Street  
Davenport, IA 52803  
563-368-4236



- GENERAL NOTES:**
- LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
  - THE CURRENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
  - TYPE, SIZE, AND QUANTITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1
  - ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS, TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
  - SEED OR SOD ALL DISTURBED AREAS AS DIRECTED BY THE OWNER.
  - BACKFILL TO TOP OF CURB (MINUS 1 1/2" FOR SOD, IF REQUIRED).
  - WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
  - ALL PLANTING BEDS SHALL INCLUDE NON-LIVING PERMEABLE MATERIALS SUCH AS MULCH, AND NOT INCLUDING ROCK.
  - SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A MINIMUM DEPTH OF 3". ALL GROUPS OF MORE THAN ONE SHRUB SHALL BE MULCHED IN A CONTINUOUS BED, SEPARATED FROM TURF BY A 3" SPADE-CUT EDGE. MULCH AROUND ALL CONIFEROUS TREES SHALL BE A 6" DIAMETER CIRCLE. ALL EDGING SHALL BE SPADE CUT EDGE.
  - ALL EDGING SHALL BE 4" SPADE CUT EDGE.
  - PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY. THE DRAWINGS SHALL PREVAIL IF ANY CONFLICTS ARISE.
  - ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
  - CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF INSTALLATION.
  - ALL WIRE, TWINE AND BURLAP SHALL BE REMOVED FROM THE ROOTBALL OF STREET TREES PRIOR TO PLANTING.
  - NO STAKING OF STREET TREES IS ALLOWED.

LANDSCAPING SCHEDULE

#	ABBV	NAME	SCIENTIFIC NAME	COMMENTS
<b>TREE</b>				
5	GS	SKYLINE HONEY LOCUST	GLEDITSIA TRIACANTHOS 'SKYLINE'	
6	QR	RED OAK	QUERCUS RUBRA	
12	ZS	JAPANESE ZELKOVA	ZELKOVA SERRATA	
<b>SHRUB</b>				
25	RG	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	
23	RR	FINE LINE BUCKTHORN	RHAMNUS FRANGULA 'FINE LINE'	
30	SK	MISS KIM KOREAN LILAC	SYRINGA PUBESCENS 'MISS KIM'	
<b>PERENNIALS</b>				
15	CK	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	
45	MG	EULALIA GRASS	MISCANTHUS SINENSIS 'GRACILLIMUS'	

DRAWING ISSUE SCHEDULE

Date	Description
07/21/2023	SITE PLAN PERMIT
08/25/2023	SITE PLAN PERMIT P&Z RESUBMITTAL

Project Status: FEASIBILITY  
GTG A Job # 221067  
GTG C Job # N/A  
Project:  
**HCC BIG 10 MART MT JOY**

**LANDSCAPE PLAN -  
OVERALL**

**AS103**



**Client**  
Big 10 Mart  
123 Southern Ave  
Dubuque, IA 52003

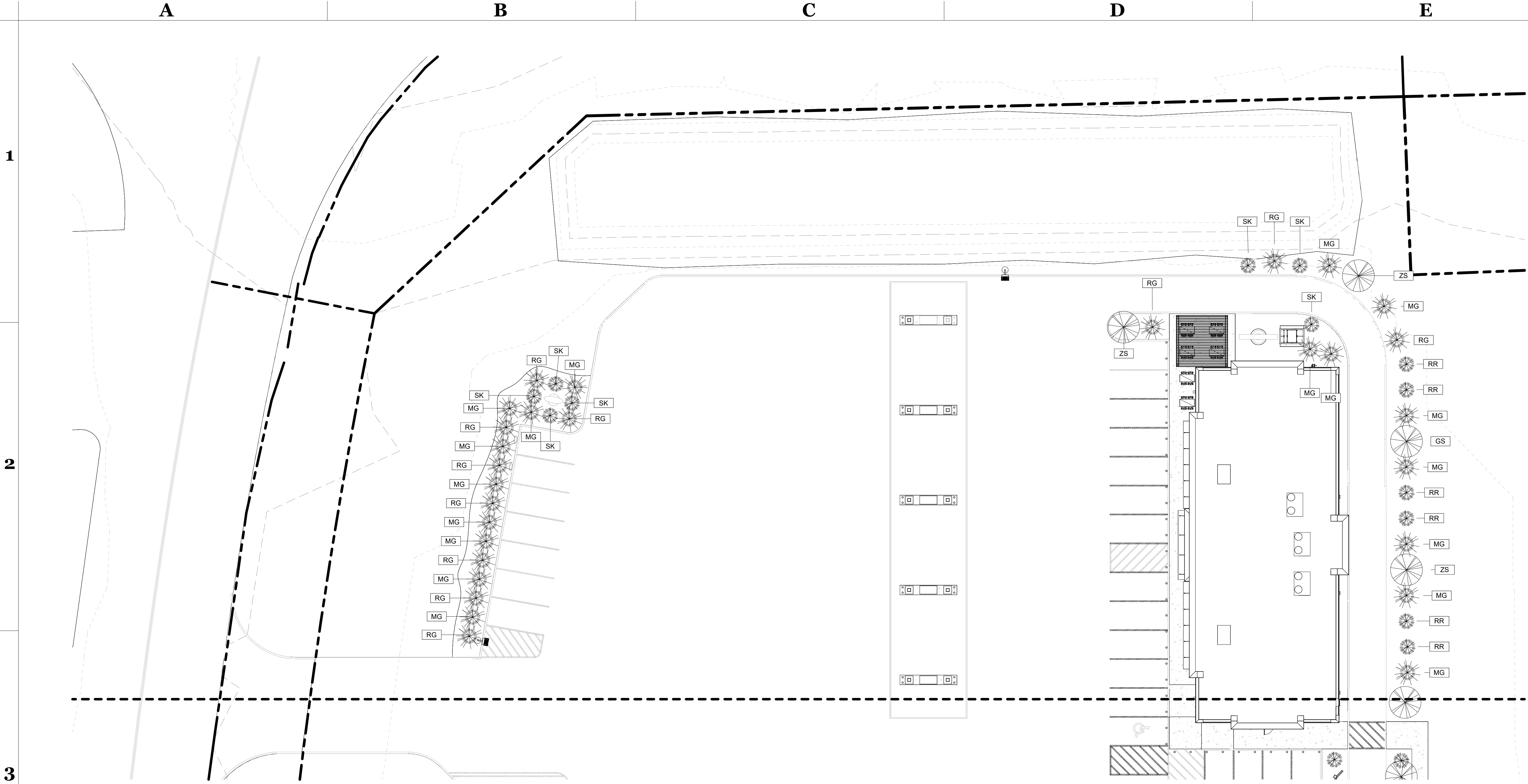
**Project**  
Big 10 Mart Mt. Joy  
20919 Brady St  
Davenport, IA 52804

**General Contractor**  
Hodge Construction Co. Inc.  
767 52nd Avenue, Suite 201  
Moline, IL 61265  
309-762-7977

**Architect**  
GTG Architects, LLC  
6505 Merle Hay Road  
Johnston, IA 50131  
515-528-8178

**Structural Engineer**  
Select Structural Engineering  
2435 Kimberly Rd #240s  
Bettendorf, IA 52722  
563-359-3117

**Civil**  
Townsend Engineering  
2224 E. 12th Street  
Davenport, IA 52803  
563-368-4236



A3 LANDSCAPE PLAN - NORTH HALF  
AS105 1/16" = 1'-0" REF'D : A200

**NOTES:**  
1. RE: ADD'T NOTES ON AS103.  
2. GRADING RE: CIVIL.

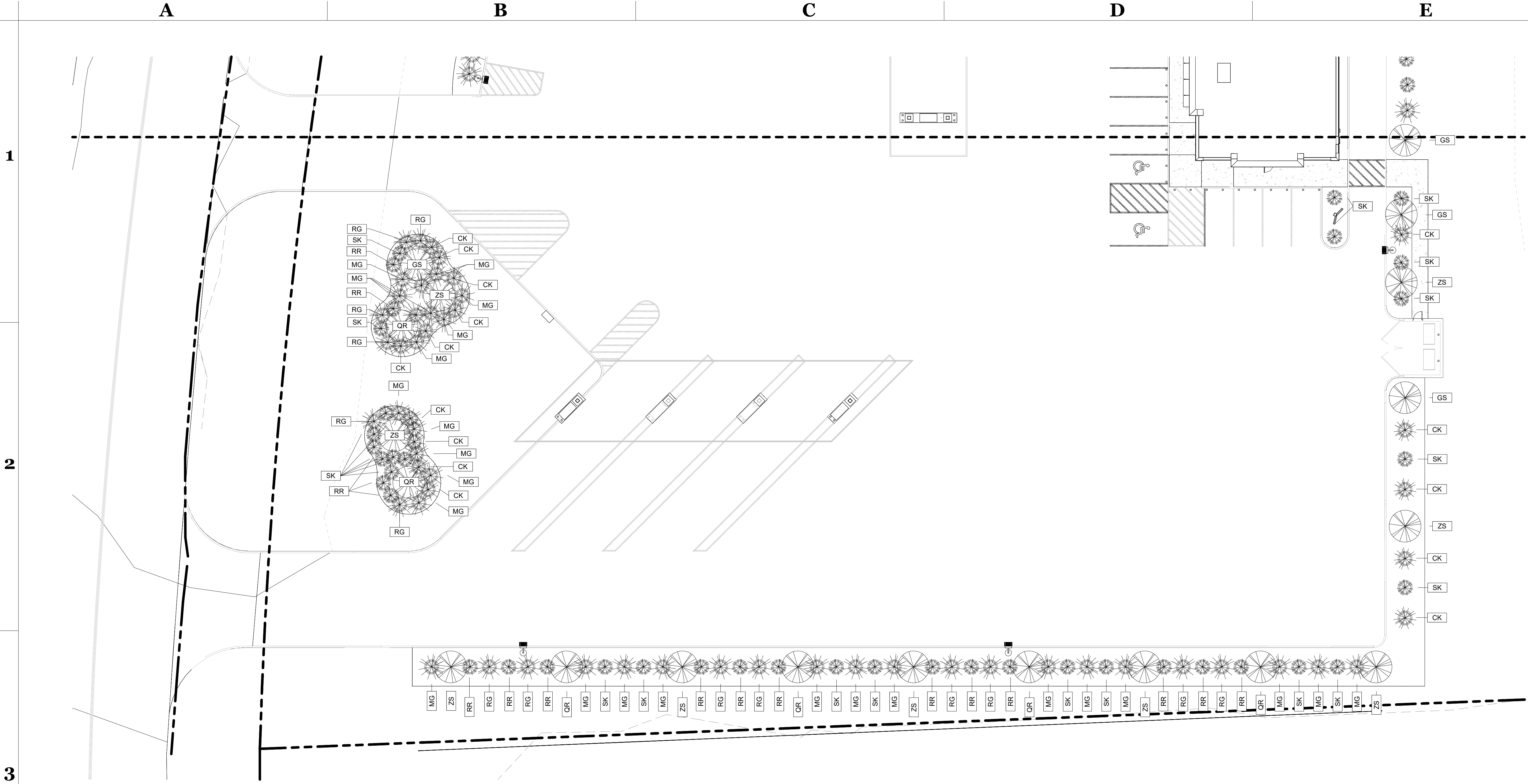
LANDSCAPING SCHEDULE				
#	ABBV	NAME	SCIENTIFIC NAME	COMMENTS
<b>TREE</b>				
5	GS	SKYLINE HONEY LOCUST	GLEDTISIA TRIACANTHOS 'SKYLINE'	
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<b>SHRUB</b>				
25	RG	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	
23	RR	FINE LINE BUCKTHORN	RHAMNUS FRANGULA 'FINE LINE'	
30	SK	MISS KIM KOREAN LILAC	SYRINGA PUBESCENS 'MISS KIM'	
<b>PERENNIALS</b>				
15	CK	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	
45	MG	EULALIA GRASS	MISCANTHUS SINENSIS 'GRACILLIMUS'	

DRAWING ISSUE SCHEDULE	
Date	Description
08/25/2023	SITE PLAN PERMIT P&Z RESUBMITTAL

Project Status: FEASIBILITY  
GTG A Job # 221067  
GTG C Job # N/A  
Project:  
**HCC BIG 10 MART MT JOY**

**LANDSCAPE PLAN - NORTH**

**AS105**



**Client**  
Big 10 Mart  
123 Southern Ave  
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**DRAWING ISSUE SCHEDULE**

Date	Description
08/25/2023	SITE PLAN PERMIT P&Z RESUBMITTAL

Project Status: FEASIBILITY  
GTG A Job # 221067  
GTG C Job # N/A  
Project:  
**HCC BIG 10 MART MT JOY**

**LANDSCAPE PLAN - SOUTH**

**AS106**

A3 LANDSCAPE PLAN - SOUTH HALF  
AS106 1/16" = 1'-0" REF'D: A200

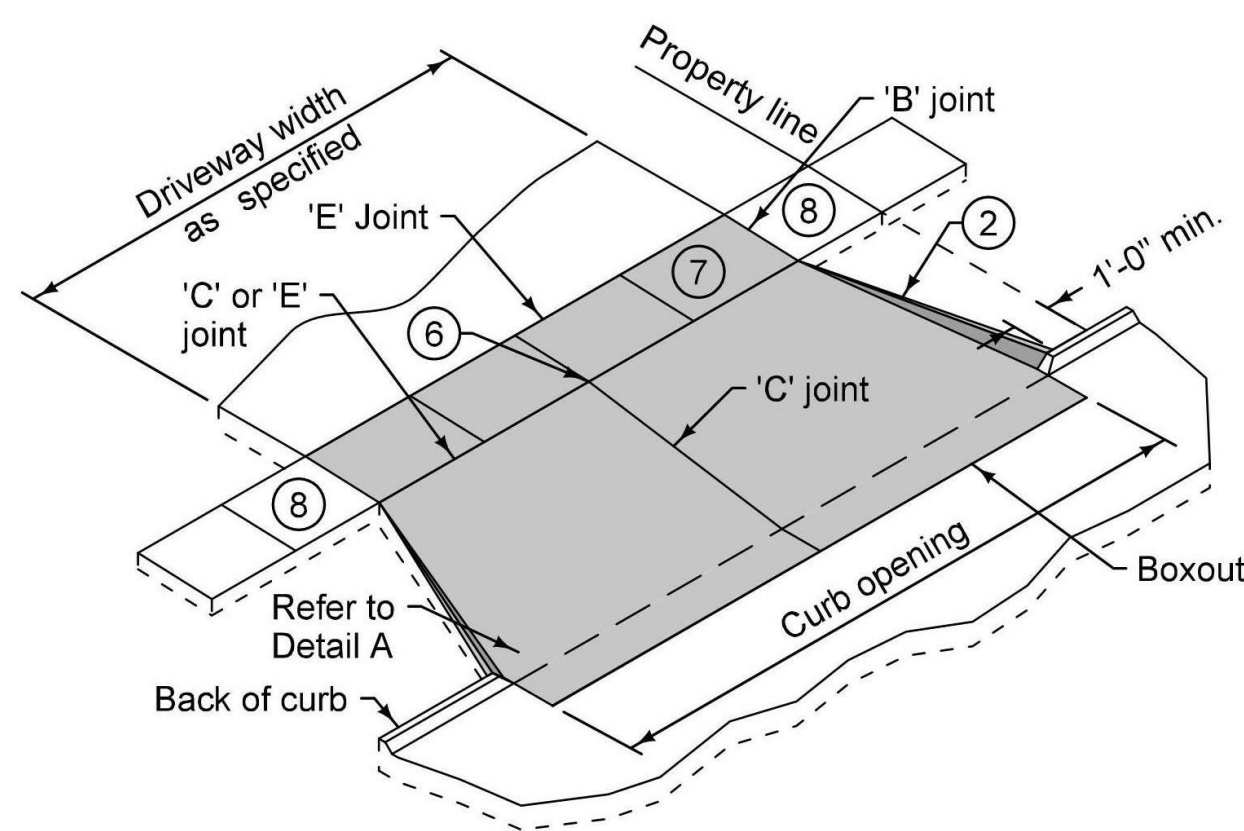


- NOTES:**
- RE: ADD'T NOTES ON AS103.
  - GRADING RE: CIVIL.

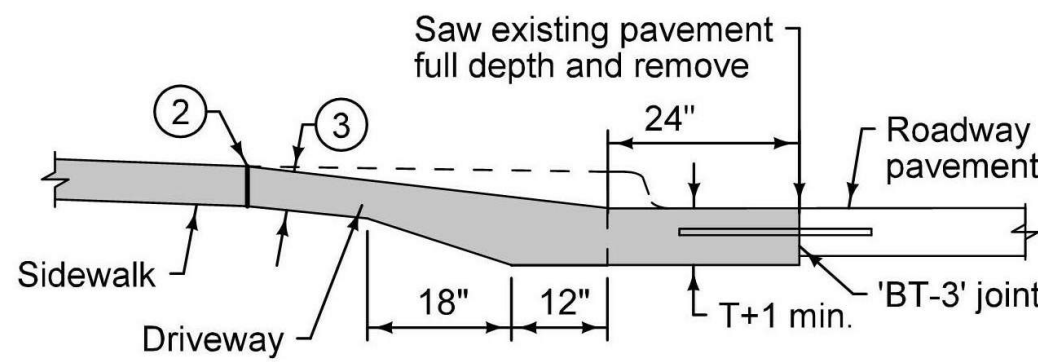
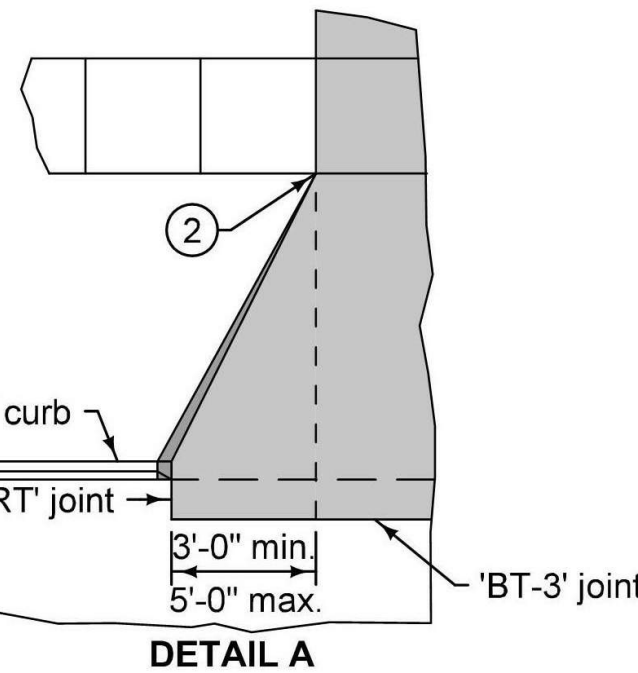
LANDSCAPING SCHEDULE				
#	ABBV	NAME	SCIENTIFIC NAME	COMMENTS
<b>TREE</b>				
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<b>SHRUB</b>				
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23	RR	FINE LINE BUCKTHORN	RHAMNUS FRANGULA 'FINE LINE'	
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<b>PERENNIALS</b>				
15	CK	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	
45	MG	EULALIA GRASS	MISCANTHUS SINENSIS 'GRACILLIMUS'	

A

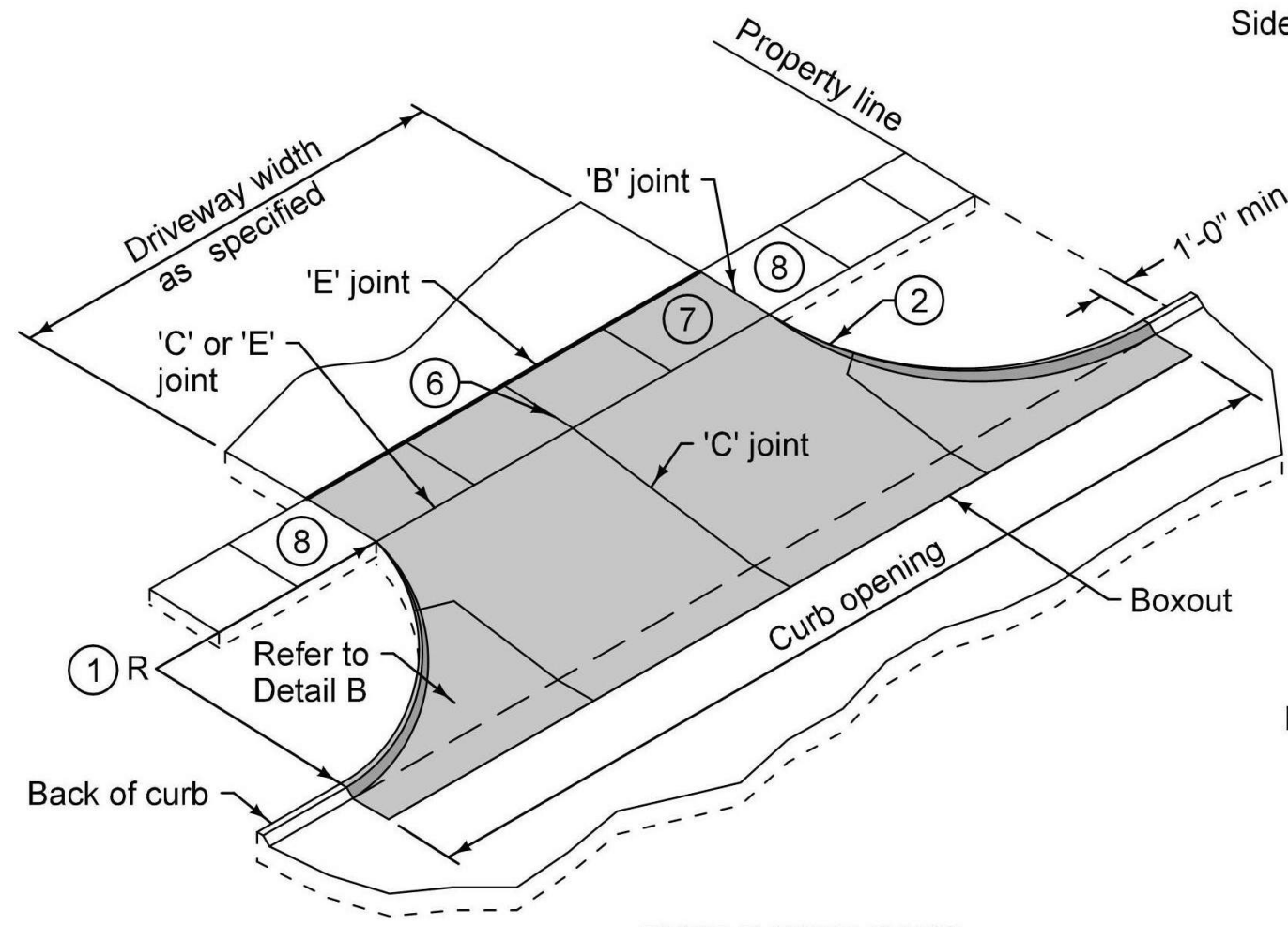
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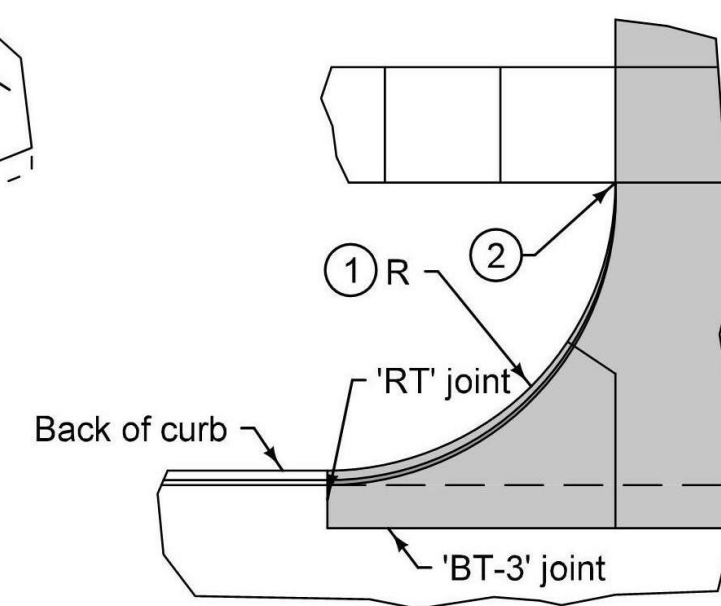
**TYPE B WITH FLARES**



2



**TYPE B WITH RADII**

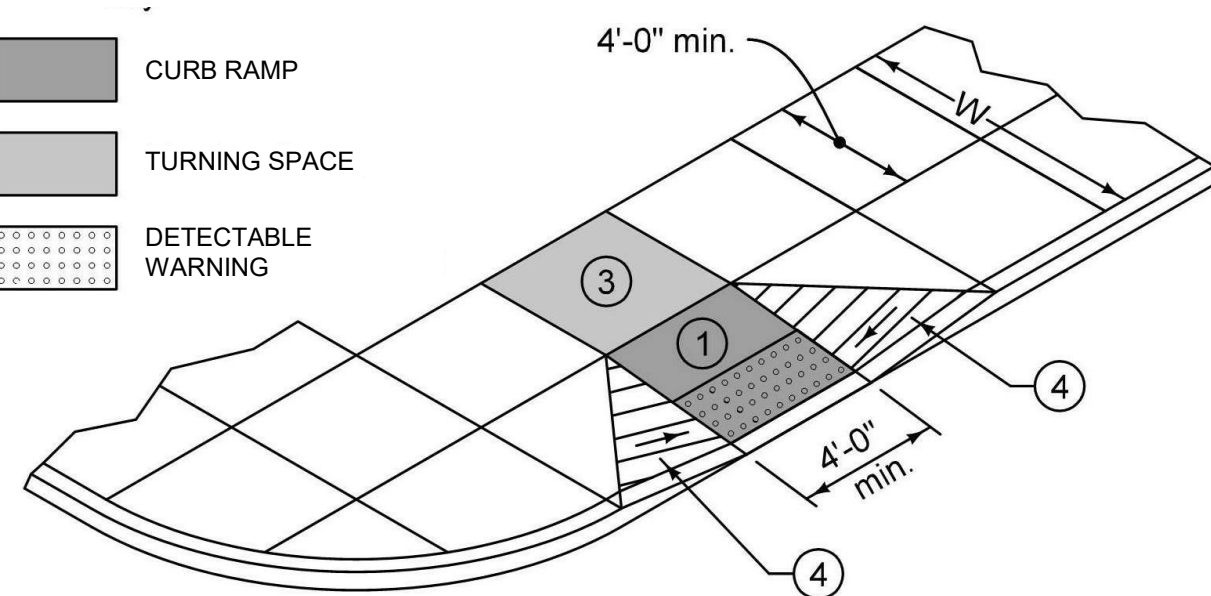


A2 SUDAS CONCRETE DRIVEWAY  
AS110 NOT TO SCALE

KEY

(Grey fill)	CURB RAMP
(Light grey fill)	TURNING SPACE
(Dotted pattern)	DETECTABLE WARNING

3



**PERPENDICULAR CURB RAMP**  
(For Class A Sidewalk)

① PERPENDICULAR CURB RAMP: TARGET RUNNING SLOPE OF 6.25% w/ MAX RUNNING SLOPE 8.3%. MATCH PEDESTRIAN STREET CROSSING SLOPE AT BACK OF CURB. AT MID-BLOCK CROSSINGS, CROSS SLOPE MAY EXCEED 2% TO MATCH ROADWAY GRADING

② PARALLEL CURB RAMP: TARGET CROSS SLOPE OF 1.5% w/ MAX CROSS SLOPE OF 2%. THE LENGTH OF THE PARALLEL RAMP IS NOT REQUIRED TO EXCEED 15'-0". REGARDLESS OF RESULTING SLOPE. DO NOT EXCEED 8.3% SLOPE FOR PARALLEL RAMP SHORTER THAN 15'-0".

③ TURNING SPACE: TARGET SLOPE OF 1.5% w/ A MAX SLOPE PERPENDICULAR TO THE TRAVEL DIRECTIONS OF 2%. AT MID-BLOCK CROSSINGS, CROSS SLOPE OF LANDING MAY EXCEED 2% TO MATCH ROADWAY GRADE. MIN 4'-0" BY 4'-0".

④ FLARE (10:1 MAX) REQUIRED IF RAMP IS CONTIGUOUS WITH SIDEWALK.

A3 SUDAS CURB RAMP  
AS110 NOT TO SCALE

C

- ① DRIVEWAY RADIUS (R)  
RESIDENTIAL: 10 FOOT MINIMUM, 15 FOOT MAXIMUM  
COMMERCIAL & INDUSTRIAL: AS SPECIFIED
- ② TRANSITION THE CURB HEIGHT TO 0" @ END OF TAPER/RADIUS OR AT THE FRONT EDGE OF SIDEWALK. DO NOT EXTEND RAISED CURB CROSS SIDEWALK.
- ③ PAVEMENT THICKNESS.  
RESIDENTIAL: 6" MINIMUM  
COMMERCIAL & INDUSTRIAL: 7" MINIMUM
- ④ SIDEWALK THICKNESS THROUGH DRIVEWAY TO MATCH THICKNESS OF DRIVEWAY.
- ⑤ IF LONGITUDINAL JOINT IS LOCATED 48" OR LESS FROM BACK OF CURB, EXTEND BOXOUT TO JOINT LINE. FULL DEPTH SAW CUT IS STILL REQUIRED.
- ⑥ FOR ALLEYS, INVERT THE PAVEMENT CROWN 2% TOWARD THE CENTER OF ALLEY.
- ⑦ TARGET CROSS SLOPE OF 1.5% w/ A MAX CROSS SLOPE OF 2%. IF SPECIFIED, CONSTRUCT THE SIDEWALK THROUGH THE DRIVEWAY 5'-0" WIDE TO SERVE AS PASSING SPACE.
- ⑧ IF CROSS SLOPE OF ADJACENT SIDEWALK PANEL EXCEEDS 2%, REMOVE AND REPLACE TO TRANSITION FROM EXISTING SIDEWALK TO SIDEWALK THROUGH DRIVEWAY. IF THE ELEVATION CHANGE REQUIRES A CURB RAMP, COMPLY WITH FIGURE 7030.205. VERIFY NEED FOR DETECTABLE WARNING PANEL WITH ENGINEER.

D

**PAVEMENT GENERAL NOTES**

1. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
2. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY (72 HOURS NOTICE) THE FOLLOWING:  
A. THE CITY AUTHORITY HAVING JURISDICTION  
B. APPROPRIATE UTILITY COMPANIES  
C. OWNER  
D. CIVIL DESIGN ADVANTAGE
3. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
4. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
5. THE CONTRACTOR MAY BE REQUIRED AS DIRECTED BY THE ENGINEER OR THE CITY, TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY.
6. SPECIAL CARE SHALL BE TAKEN WHEN FORMING AT INTERSECTIONS SO THE PROFILES SHOWN ON THE PLANS AND ELEVATIONS SHOWN ON THE INTERSECTION DETAILS ARE OBTAINED. SHORT LENGTHS OF FORMS OR FLEXIBLE FORMS MAY BE NECESSARY AT THESE LOCATIONS.
7. TO OBTAIN THE CORRECT FORM GRADES AT LOW POINTS WHERE INTAKES ARE LOCATED, THE CONTRACTOR MUST EXERCISE ADDITIONAL CARE WHEN PAVING FULL WIDTH PAVEMENTS. THIS MAY REQUIRE POURING ONE HALF OF THE PAVEMENT AT A TIME OR OTHER METHODS APPROVED BY THE ENGINEER.
8. THE CONTRACTOR SHALL CONFINE THEIR GRADING OPERATIONS TO WITHIN THE PROPOSED AND EXISTING RIGHT OF WAY, CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS.
9. PLAN AND PROFILE SHEETS INCLUDED IN THE PROJECT ARE FOR THE PURPOSE OF ALIGNMENT, LOCATION AND SPECIFIC DIRECTIONS FOR WORK TO BE PERFORMED UNDER THIS CONTRACT. IRRELEVANT DATA ON THESE SHEETS IS NOT TO BE CONSIDERED A PART OF THE CONTRACT.
10. PLACE 3/4" EXPANSION JOINT BETWEEN ALL PCC PAVEMENT /SIDEWALKS AND BUILDINGS. PLACE 1/2" EXPANSION JOINT BETWEEN SIDEWALKS AND PCC PAVEMENT.
11. ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
14. ALL FIELD TILES ENCOUNTERED SHALL BE REPAIRED AND CONNECTED TO STORM SEWERS WHERE POSSIBLE. LOCATIONS SHALL BE PROVIDED TO ENGINEER FOR NOTATION ON AS-BUILT INCLUDING LOCATION, TYPE OF TILE, AND TILE ELEVATION.
15. PRIOR TO ANY WORK AT THIS SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
16. CONTRACTOR SHALL COMPLY WITH ALL PROWAG ADA REQUIREMENTS FOR ACCESSIBLE SIDEWALK RAMP INCLUDING RAISED TRUNCATED DOME DETECTABLE WARNINGS.
17. CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
18. ALL MATERIAL TESTING SHALL BE CONSIDERED INCIDENTAL TO OTHER CONSTRUCTION.
19. PARKING STALLS SHALL BE PAINTED ACCORDING TO USE:  
A. HANDICAP PARKING STALLS - BLUE  
B. LOADING ZONES - YELLOW  
C. STANDARD PARKING STALLS - WHITE

**TRAFFIC CONTROL NOTES**

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO CONSTRUCTION WITHIN CITY ROW OR LANE CLOSURES.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). TRAFFIC CONTROL SHALL BE CONSIDERED INCIDENTAL TO THE WORK.
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE THEIR OWN TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK / SHARED USE PATH CLOSED SIGNS REQUIRED FOR ALL SIDEWALK / SHARED USE PATH CLOSURES. SIGNAGE AND TEMPORARY PEDESTRIAN ACCESS ROUTE THROUGH THE CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R205 AND THE IA DOT DESIGN MANUAL, CHP 12A-4.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOT TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

4

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**Client**  
Big 10 Mart  
123 Southern Ave  
Dubuque, IA 52003

**Project**  
Big 10 Mart Mt. Joy  
20919 Brady St  
Davenport, IA 52804

**General Contractor**  
Hodge Construction Co. Inc.  
767 52nd Avenue, Suite 201  
Moline, IL 61265  
309-762-7977

**Architect**  
GTG Architects, LLC  
6505 Merle Hay Road  
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515-528-8178

**Structural Engineer**  
Select Structural Engineering  
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Bettendorf, IA 52722  
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**Civil**  
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DRAWING ISSUE SCHEDULE	
Date	Description
07/21/2023	SITE PLAN PERMIT
08/25/2023	SITE PLAN PERMIT P&Z RESUBMITTAL

Project Status: FEASIBILITY  
GTG A Job # 221067  
GTG C Job # N/A  
Project:  
**HCC BIG 10 MART MT JOY**

**SUDAS DESIGN  
DETAILS**

**AS110**

A

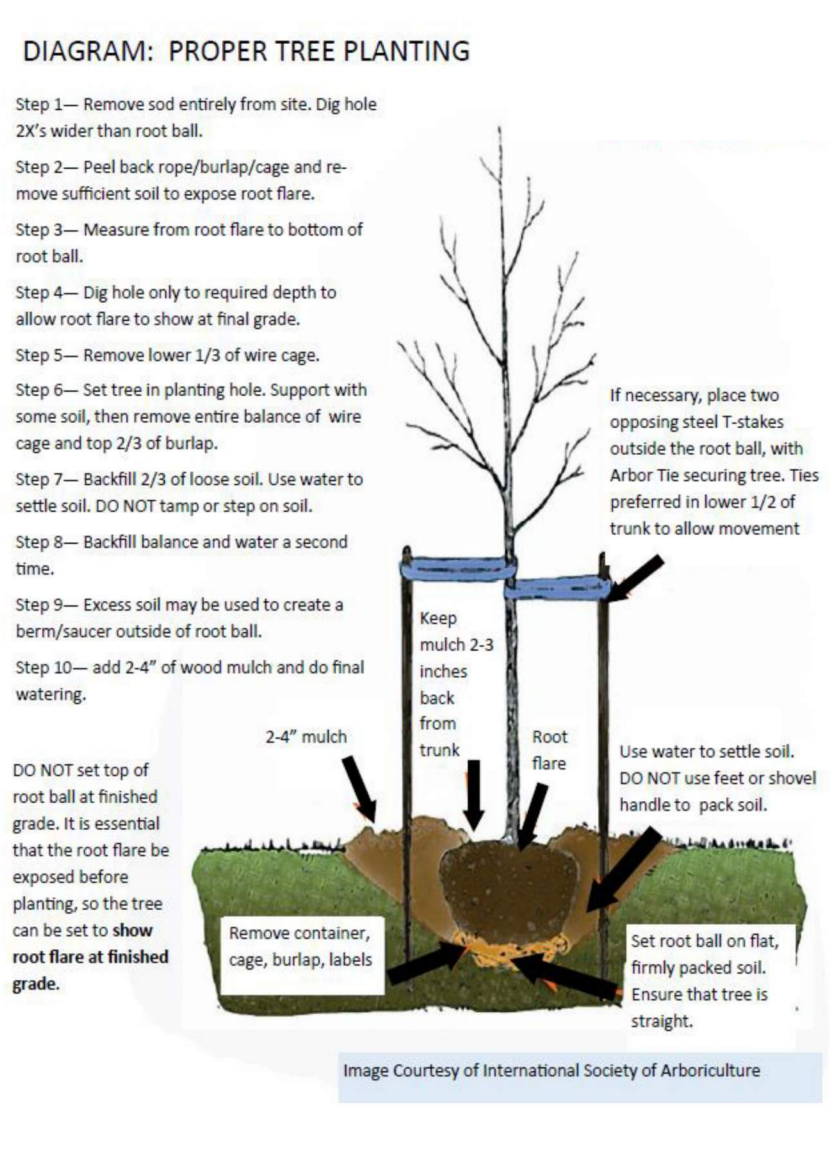
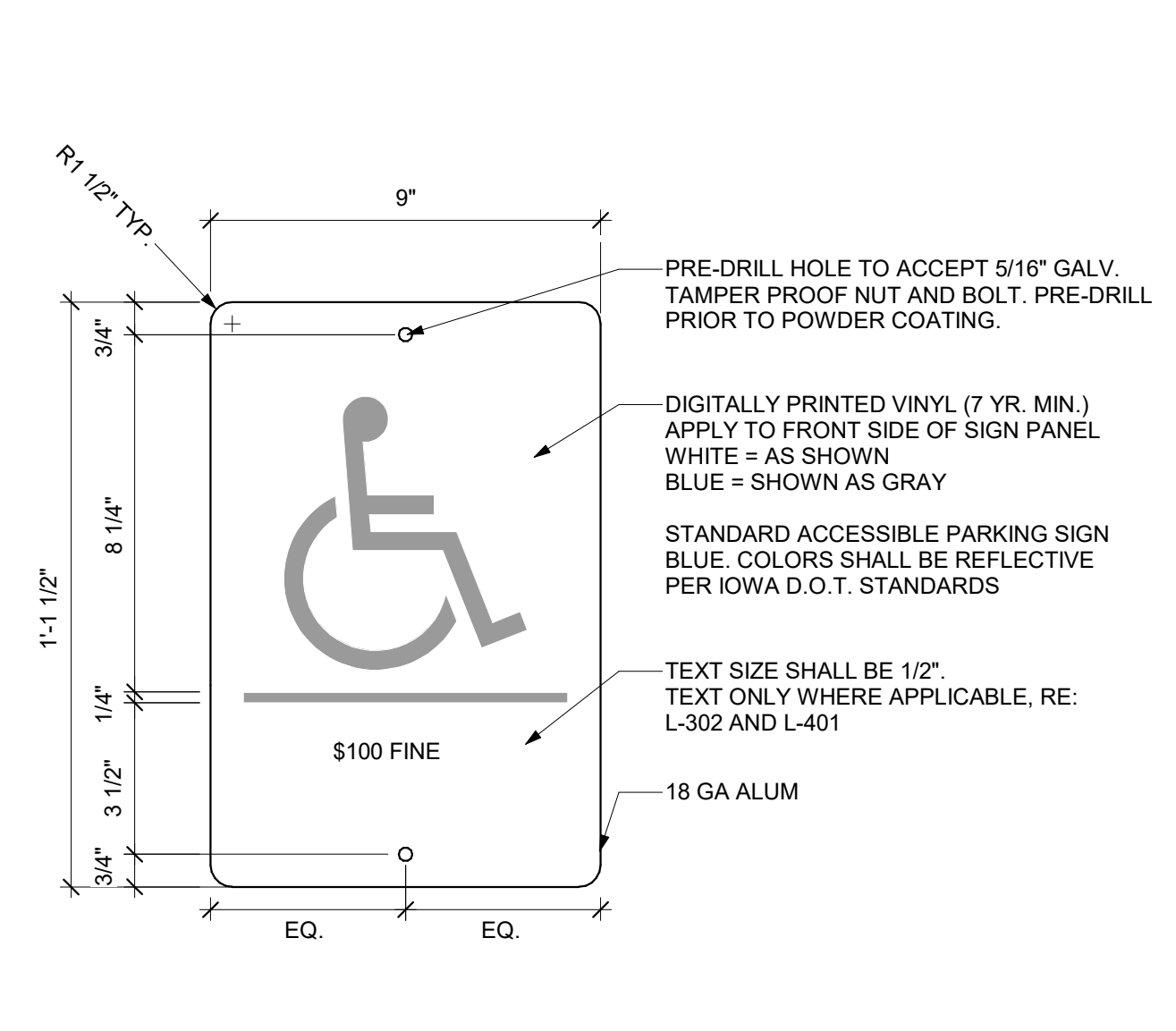
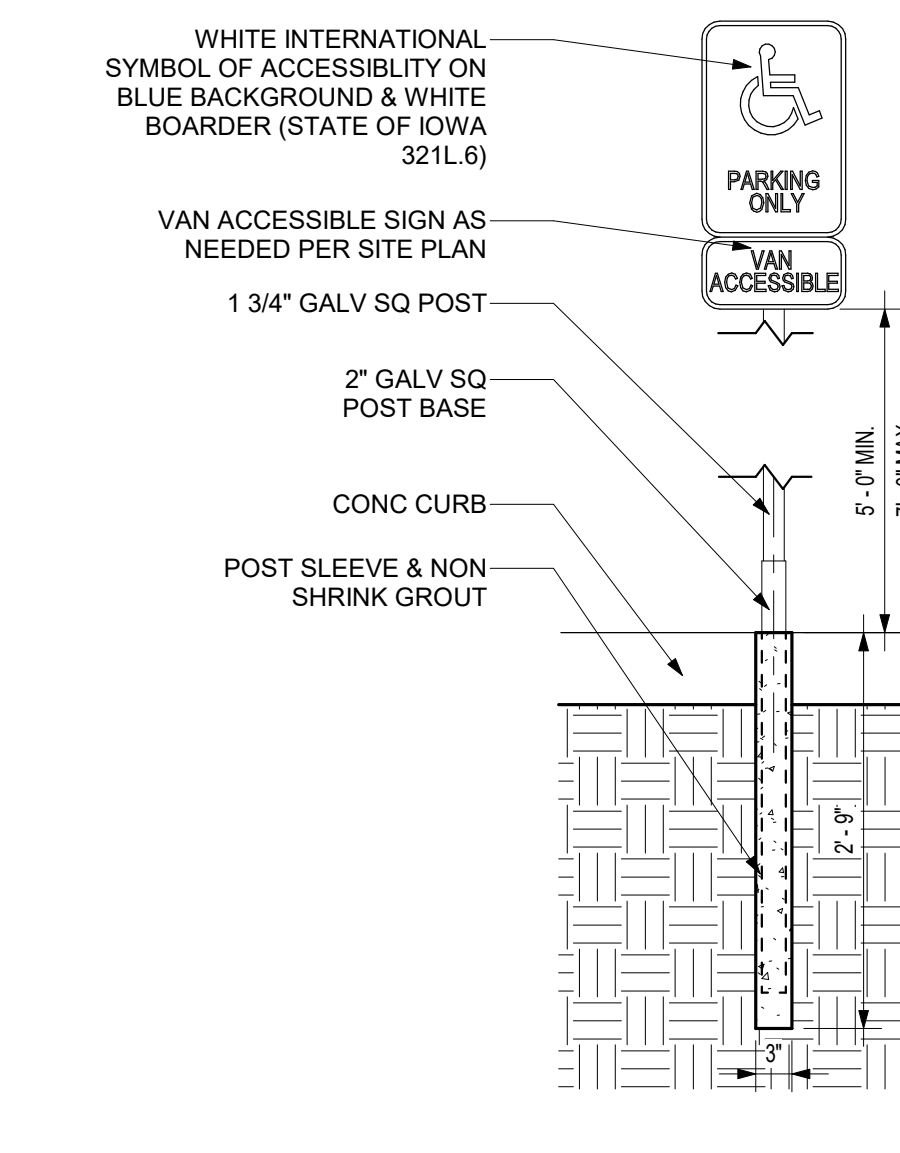
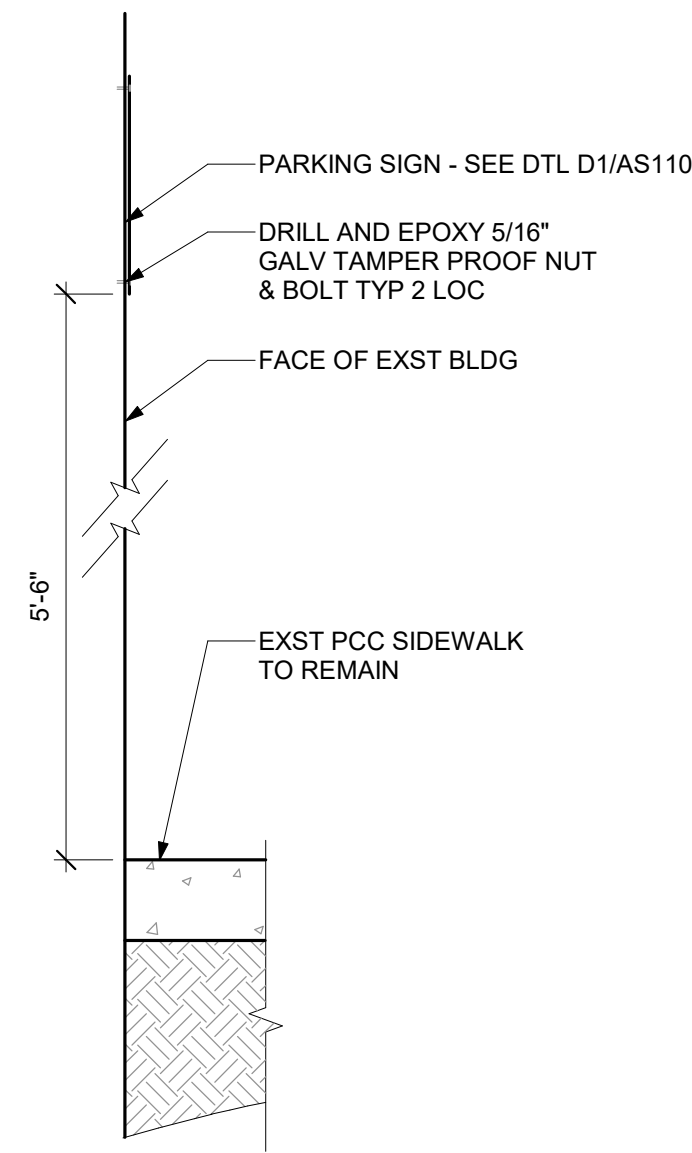
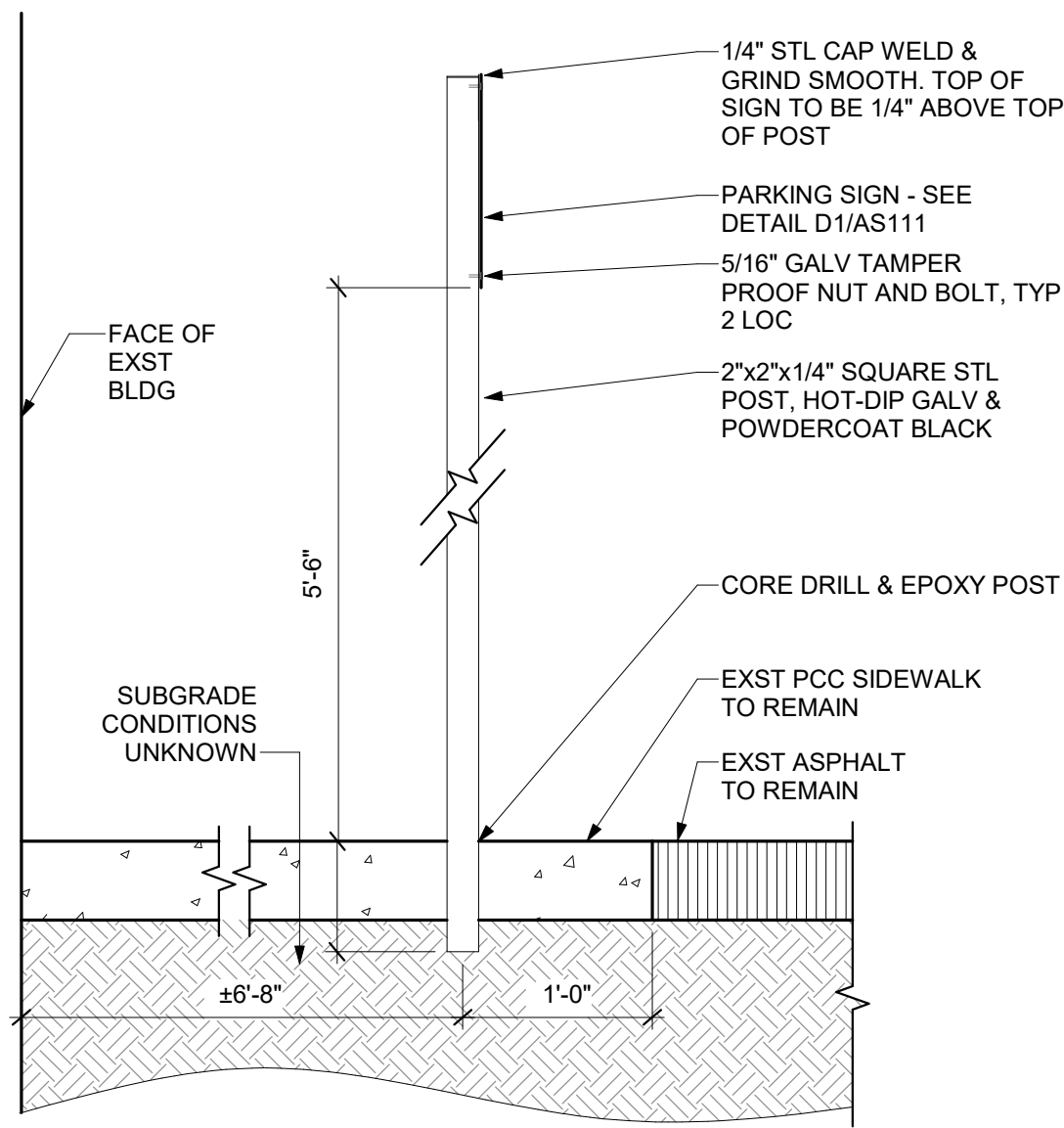
B

C

D

E

1



A1 HANDICAP PARKING SIGN @ SIDEWALK  
AS111 12" = 1'-0" REF'D :

B1 HANDICAP PARKING SIGN @ BLDG  
AS111 12" = 1'-0" REF'D :

C1 ADA PARKING SIGN  
AS111 3/4" = 1'-0" REF'D :

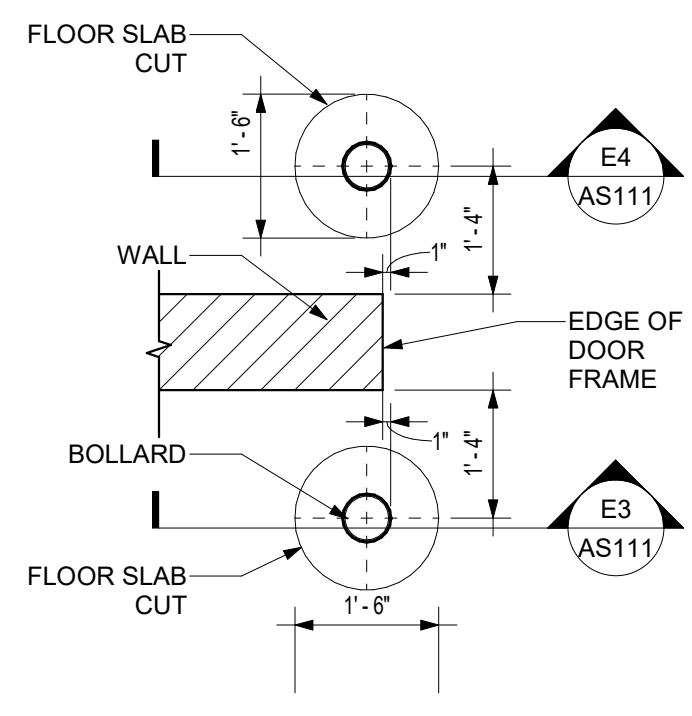
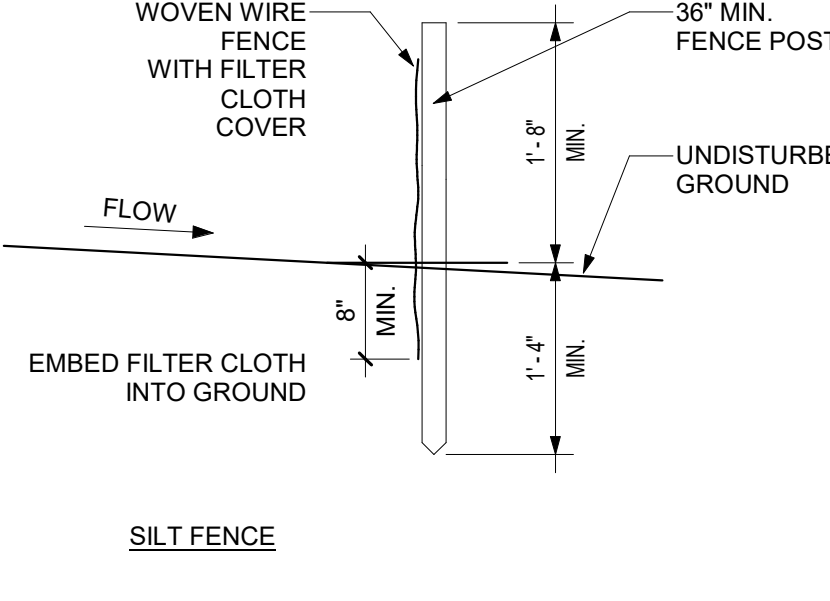
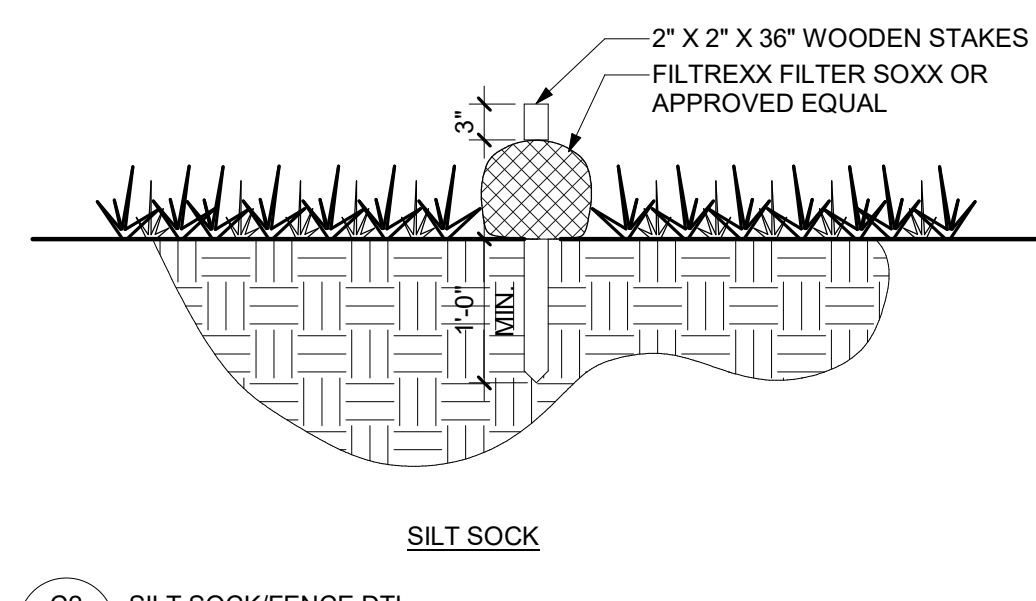
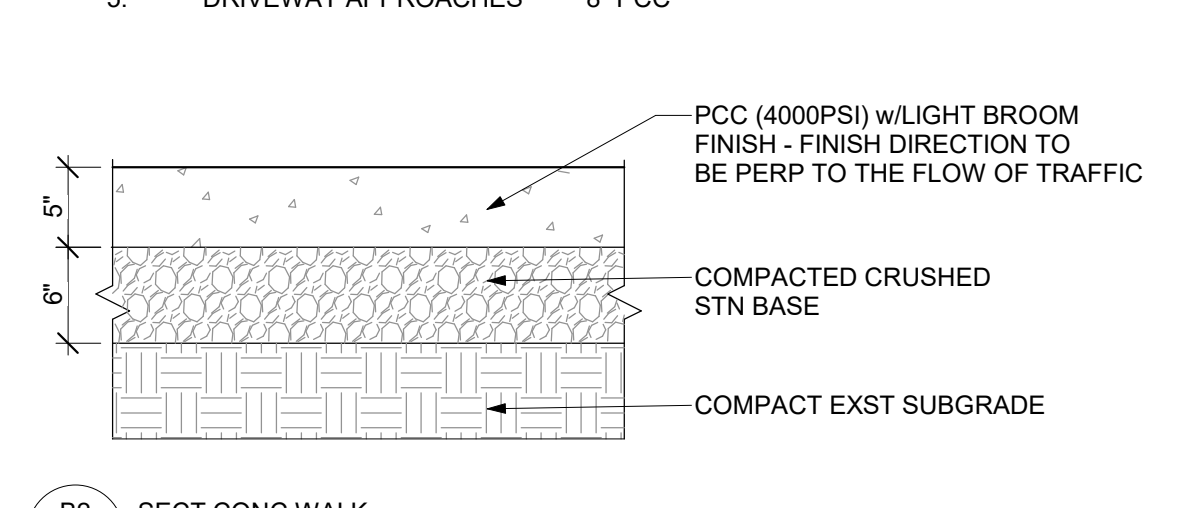
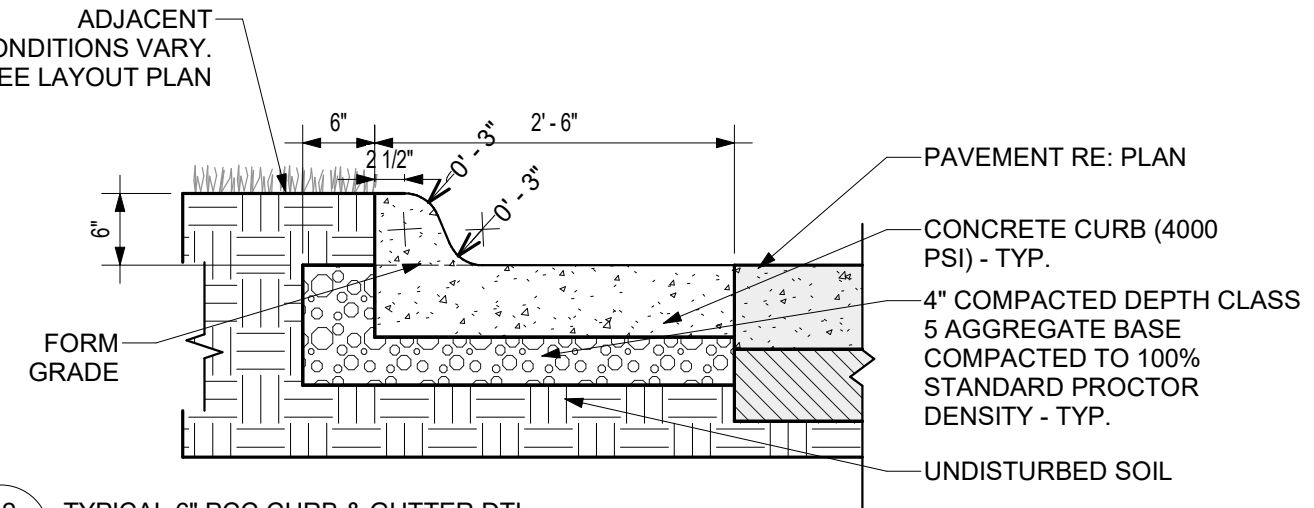
D1 HANDICAP PARKING SIGN  
AS111 12" = 1'-0" REF'D :

E1 PROPER TREE PLANTING  
AS111 1" = 1'-0" REF'D :

2

PAVEMENT THICKNESS

1. SIDEWALKS	4" PCC
2. SIDEWALK RAMPS	6" PCC
3. DRIVE AISLES	7" PCC
4. PARKING STALLS	5" PCC
5. DRIVEWAY APPROACHES	8" PCC



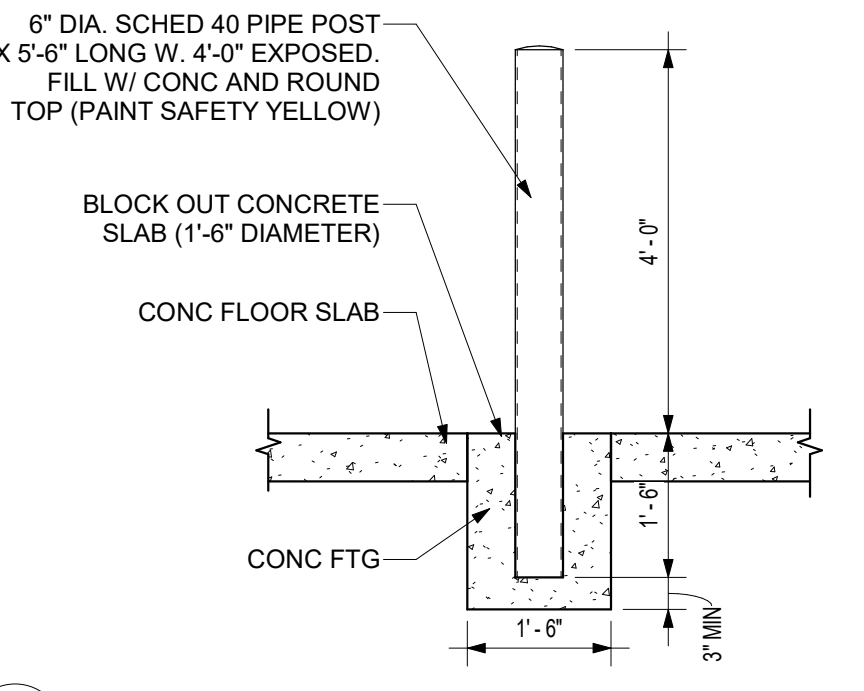
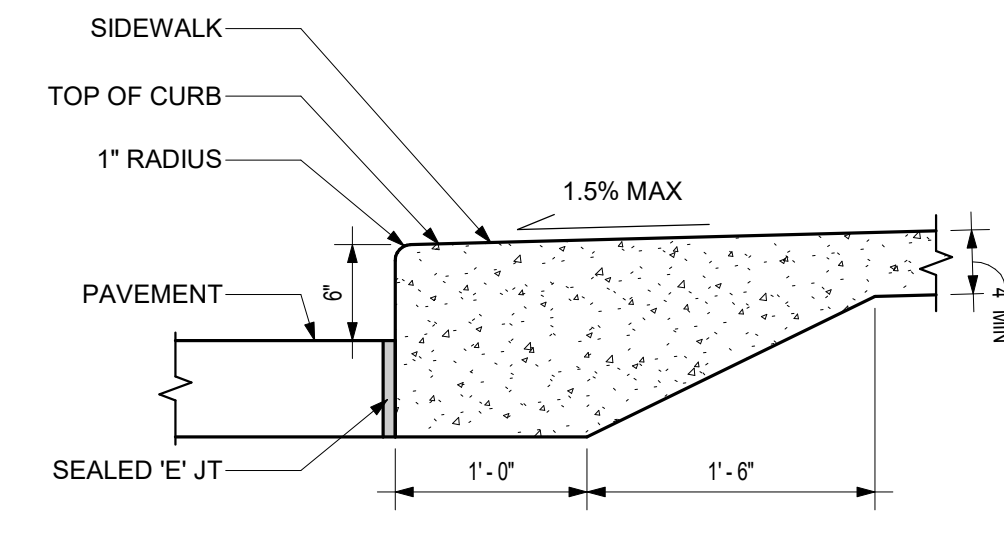
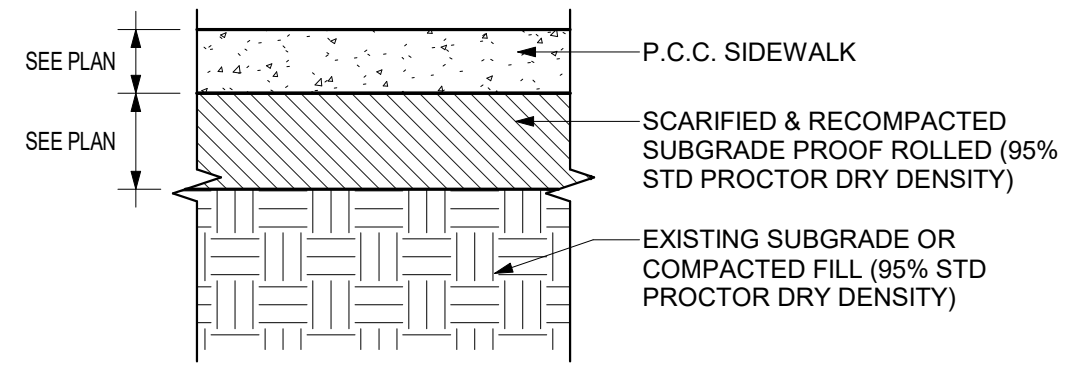
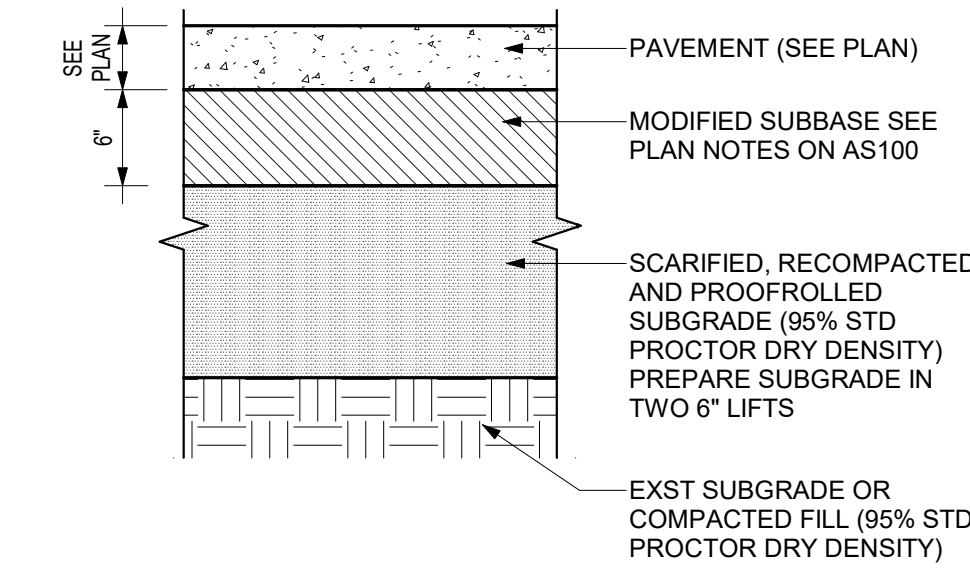
A2 TYPICAL 6" PCC CURB & GUTTER DTL  
AS111 3/4" = 1'-0" REF'D : AS101

B2 SECT CONC WALK  
AS111 12" = 1'-0" REF'D :

C2 SILT SOCK/FENCE DTL  
AS111 3/4" = 1'-0" REF'D :

E2 BOLLARD LOCATION AT OPENING  
AS111 1/2" = 1'-0" REF'D :

3



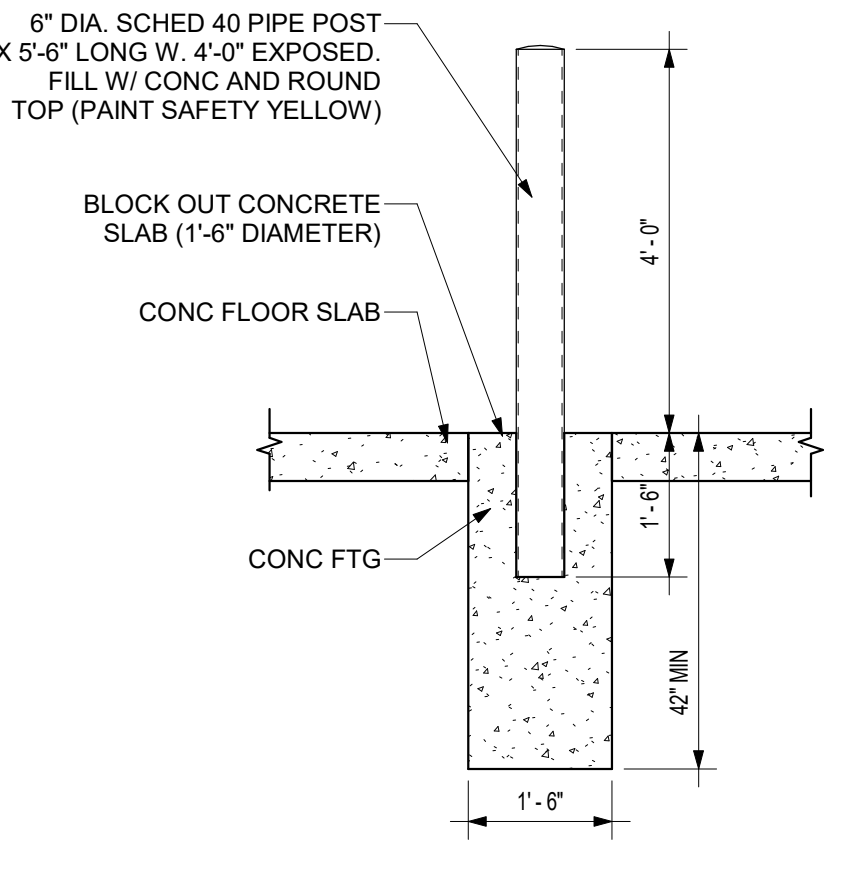
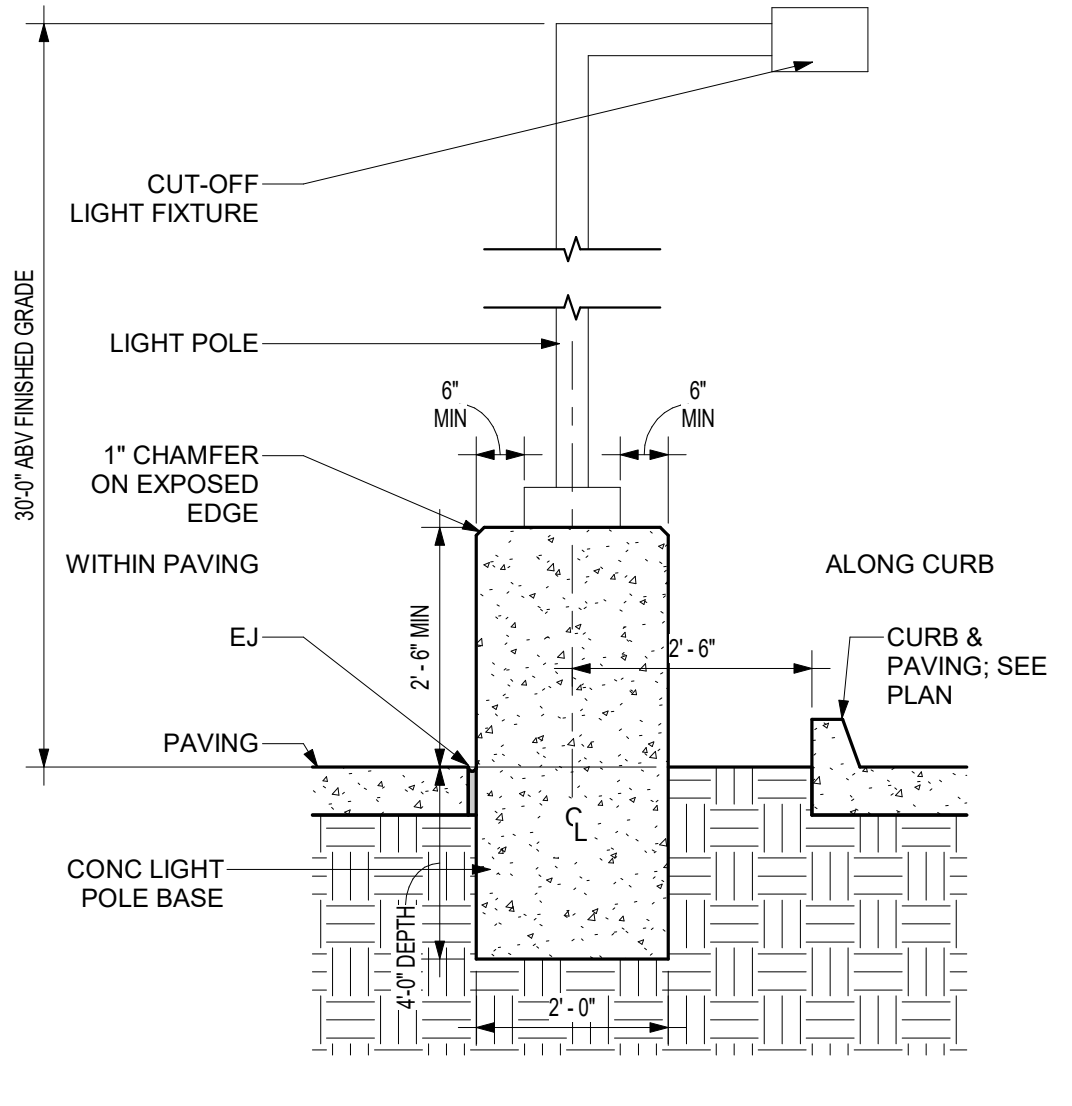
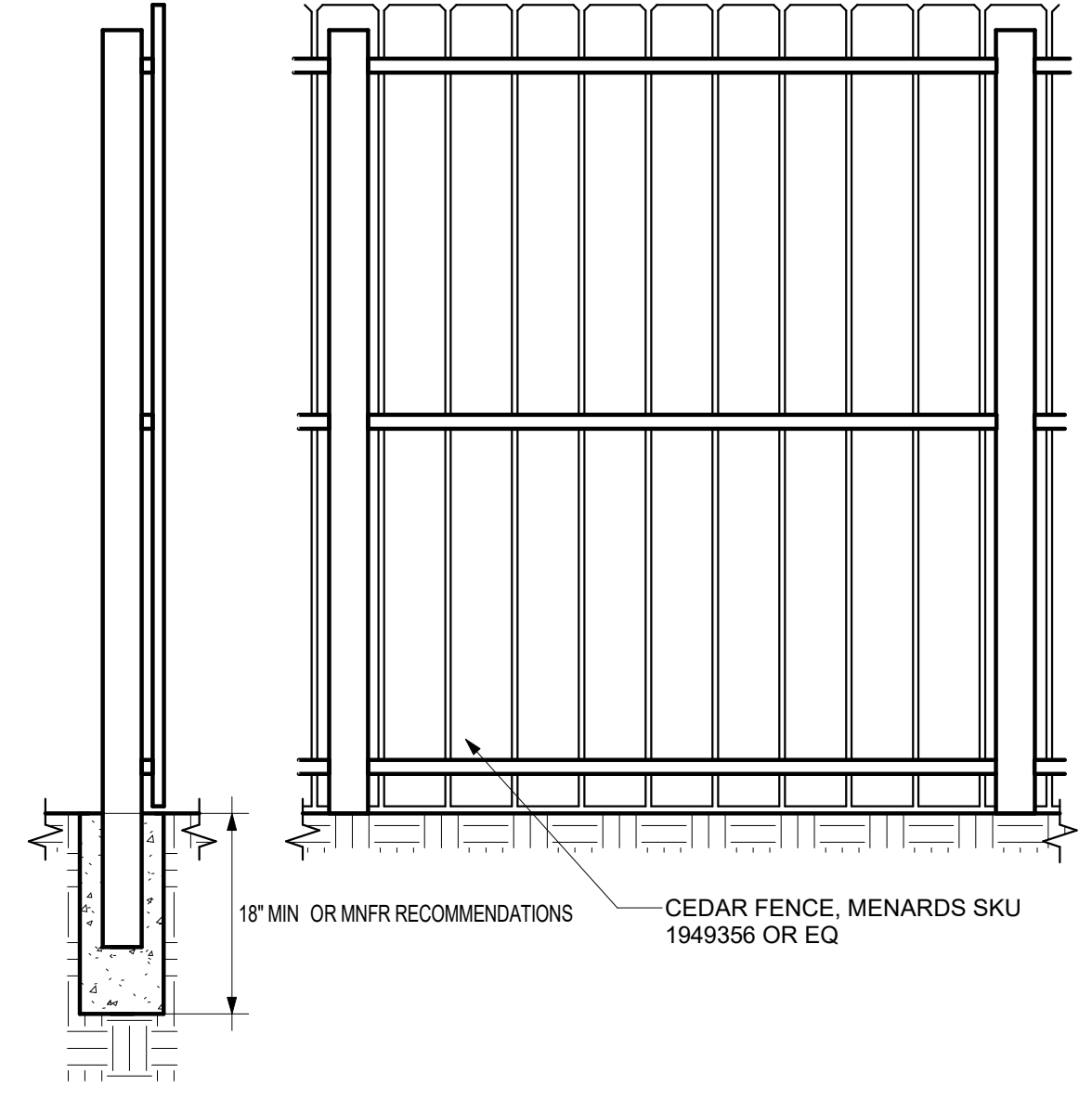
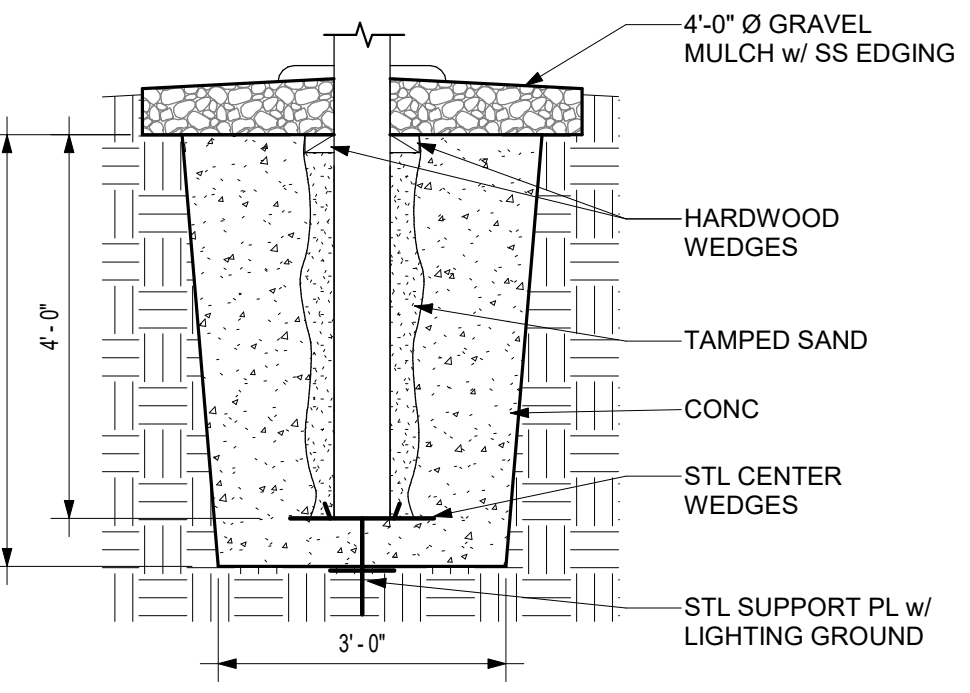
A3 12" SUBGRADE PREPARATION  
AS111 1" = 1'-0" REF'D :

C3 PCC SIDEWALK  
AS111 1" = 1'-0" REF'D :

D3 INTEGRAL CURB & SIDEWALK  
AS111 1" = 1'-0" REF'D : AS101

E3 BOLLARD INT DTL  
AS111 1/2" = 1'-0" REF'D : AS111

4



A4 FLAG POLE FOUNDATION DETAIL  
AS111 1/2" = 1'-0" REF'D :

C4 WOOD FENCE  
AS111 3/4" = 1'-0" REF'D : AS102

D4 TYP LT POLE AT PARKING LOT  
AS111 1/2" = 1'-0" REF'D : AS101

E4 BOLLARD EXT DTL  
AS111 1/2" = 1'-0" REF'D : AS111



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DRAWING ISSUE SCHEDULE

Date	Description
07/21/2023	SITE PLAN PERMIT
08/25/2023	SITE PLAN PERMIT P&Z RESUBMITTAL

Project Status: FEASIBILITY

GTG A Job # 221067

GTG C Job # N/A

Project:  
**HCC BIG 10 MART MT JOY**

SITE PLAN DETAILS

AS111

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A

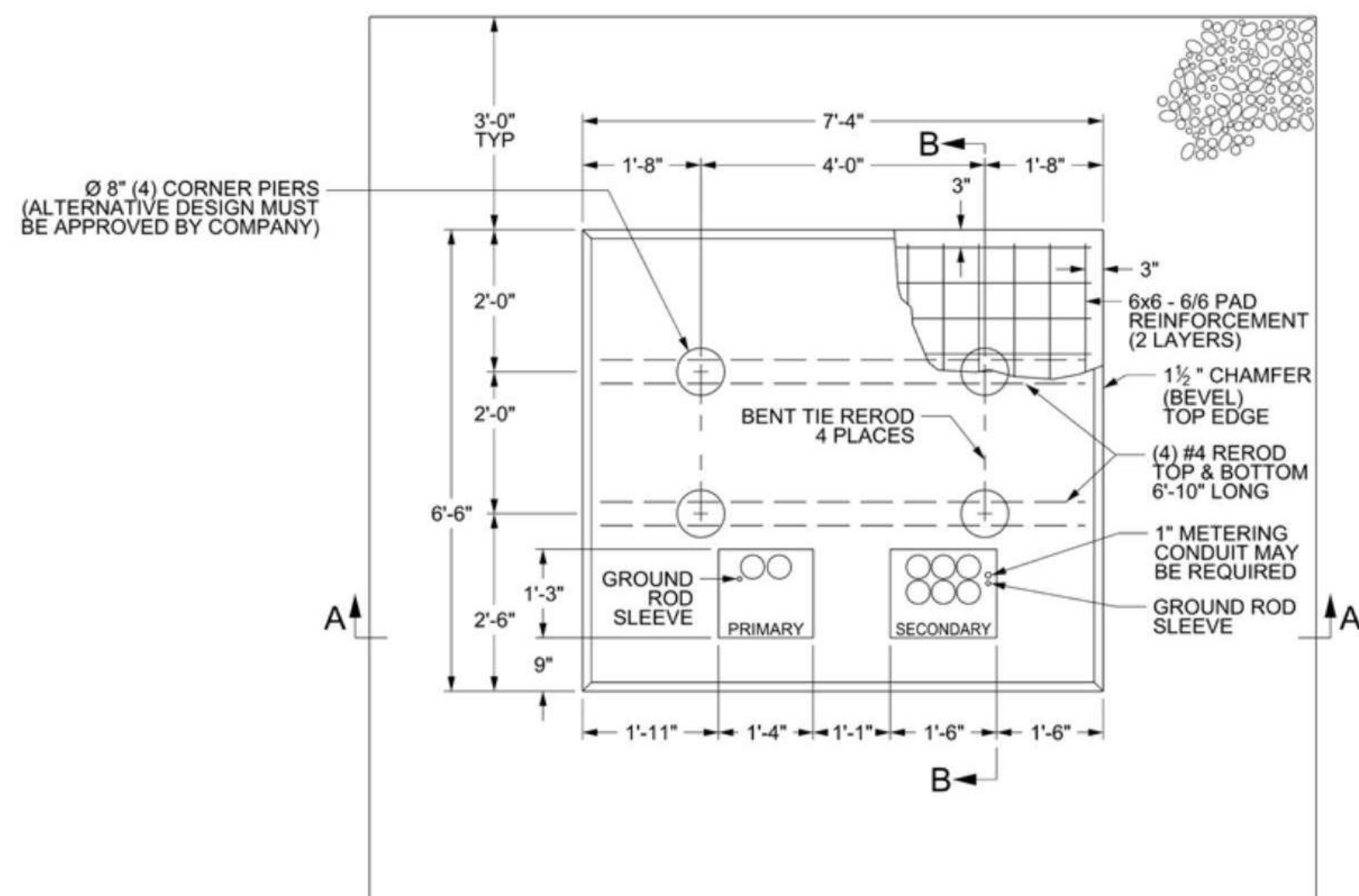
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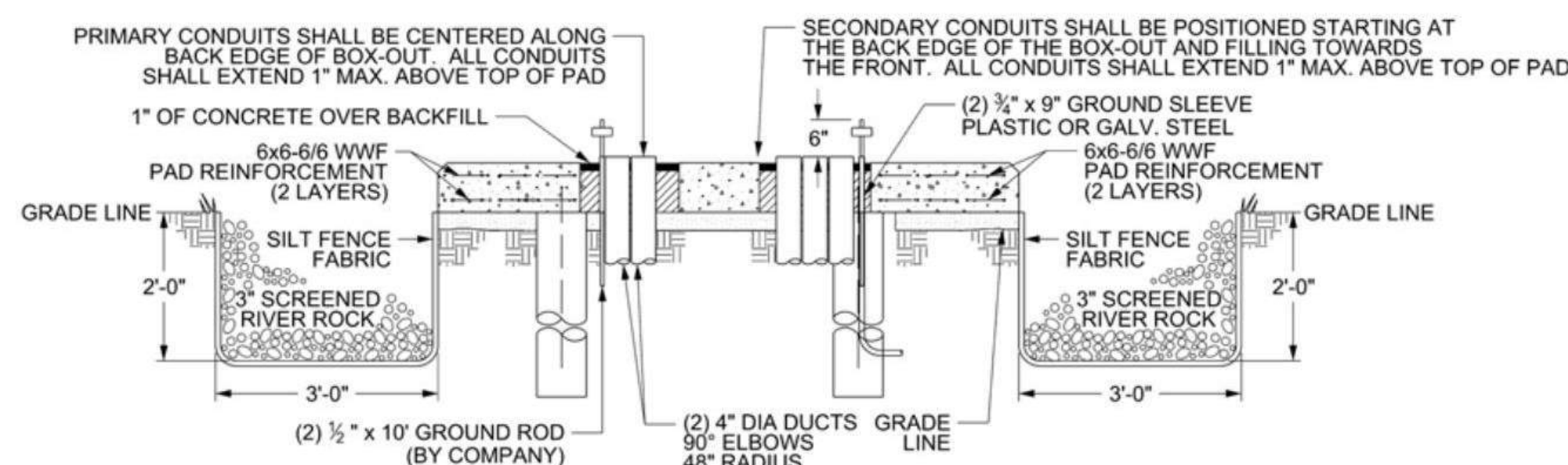
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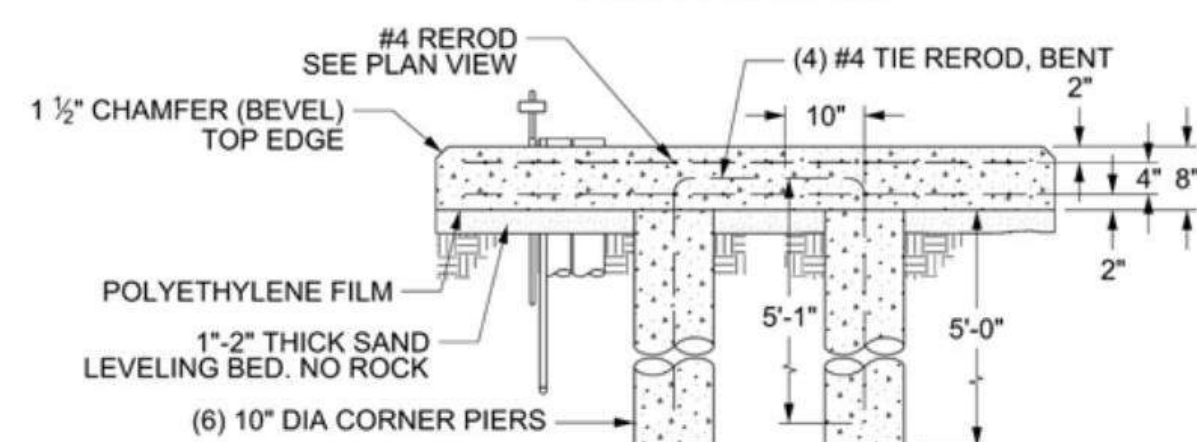


PLAN VIEW

2



SECTION "A-A"



SECTION "B-B"

**DESIGN DATA**  
 CONCRETE  $f_c$  > 3500 PSI AT 28 DAYS  
 REINFORCING STEEL: ASTM A 615-40  
 6x6-6/16 WELDED WIRE FABRIC (WWF)  
 ASTM A 185  
 SOIL: >95% PROCTOR DENSITY OR 55 PSI PBV

A3 MID AMERICAN TRANSFORMER  
 AS112 1/2" = 1'-0" REFD:

3



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 563-359-3117



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4

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Project Status: FEASIBILITY

GTG A Job # 221067

GTG C Job # N/A

Project:

HCC BIG 10 MART MT JOY

SITE PLAN DETAILS

AS112

A

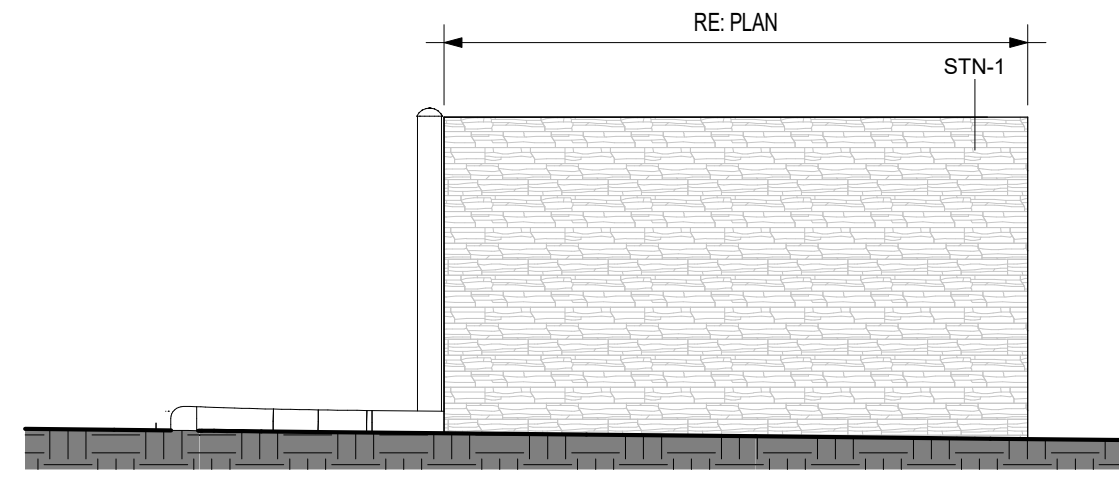
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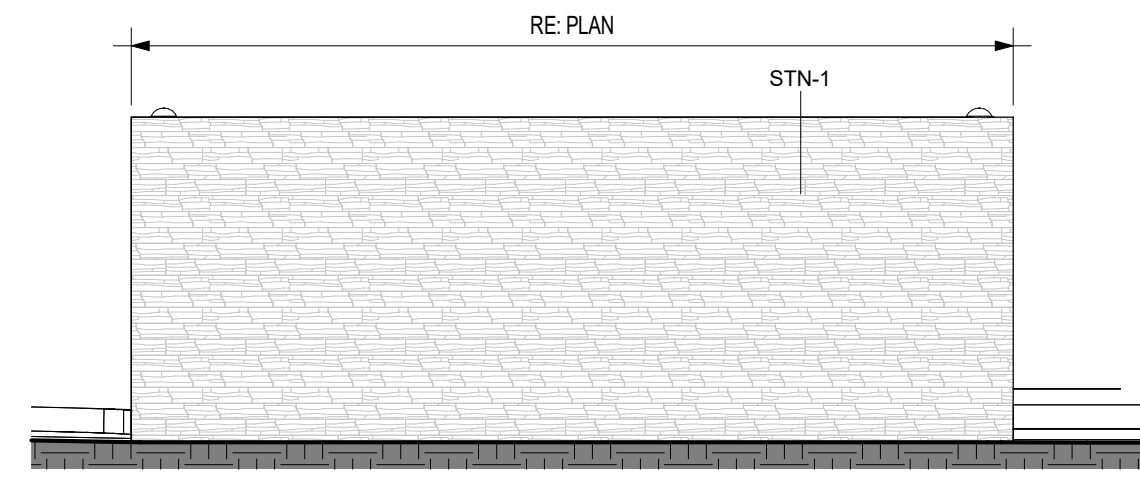
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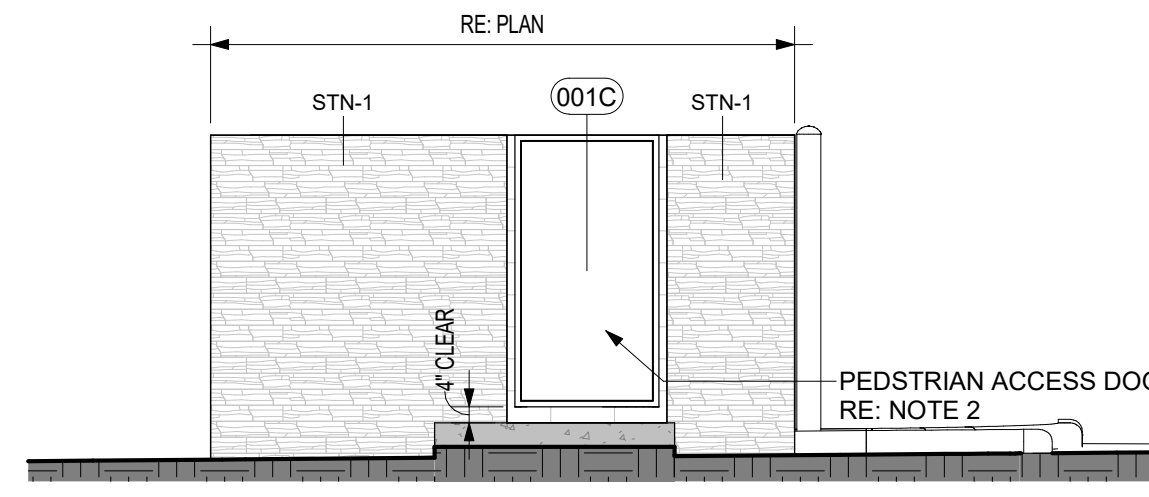
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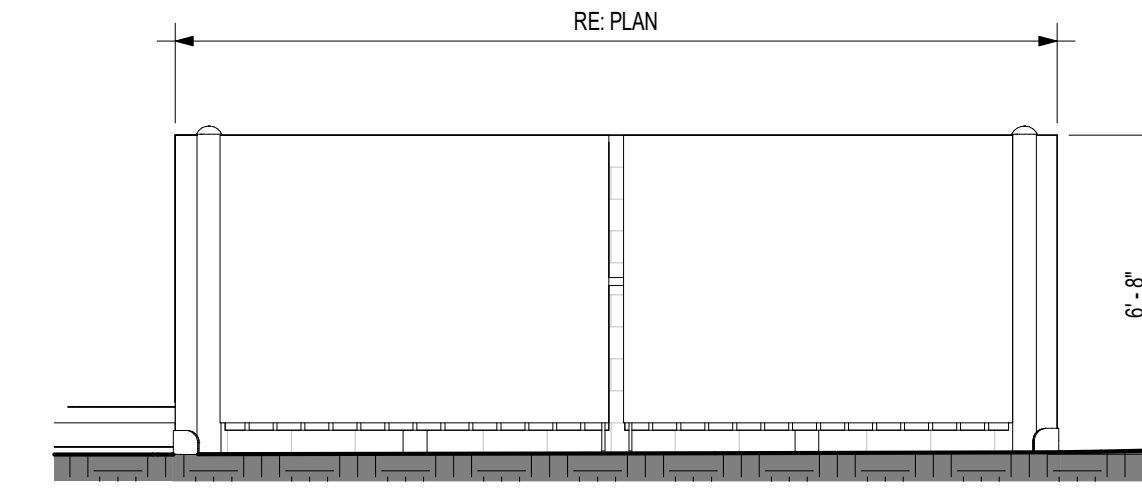
A1 DUMPSTER ENCLOSURE SOUTH ELEVATION  
AS200 1/4" = 1'-0" REF'D: AS102



B1 DUMPSTER ENCLOSURE EAST ELEVATION  
AS200 1/4" = 1'-0" REF'D: AS102

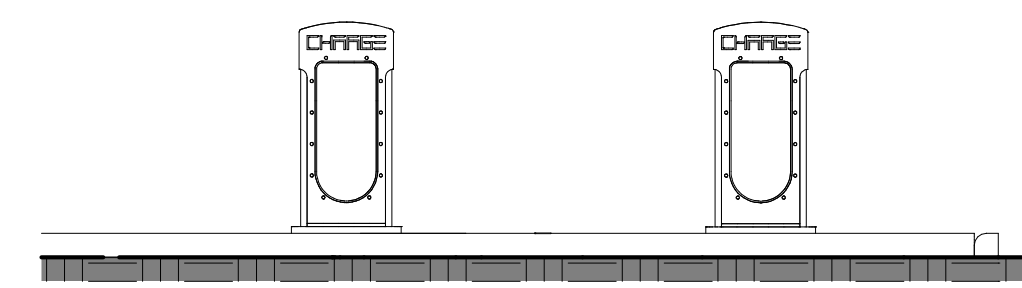


C1 DUMPSTER ENCLOSURE NORTH ELEVATION  
AS200 1/4" = 1'-0" REF'D: AS102

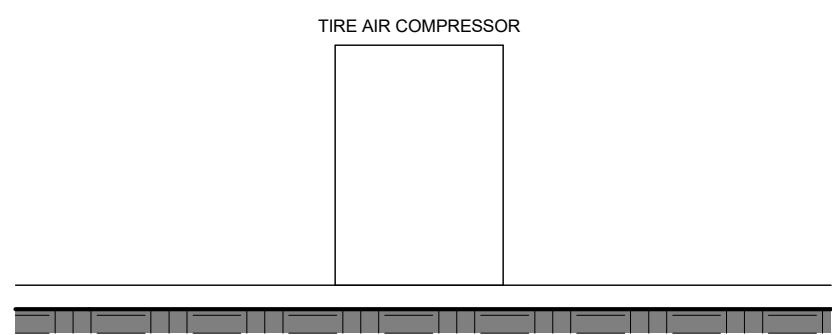


D1 DUMPSTER ENCLOSURE WEST ELEVATION  
AS200 1/4" = 1'-0" REF'D: AS102

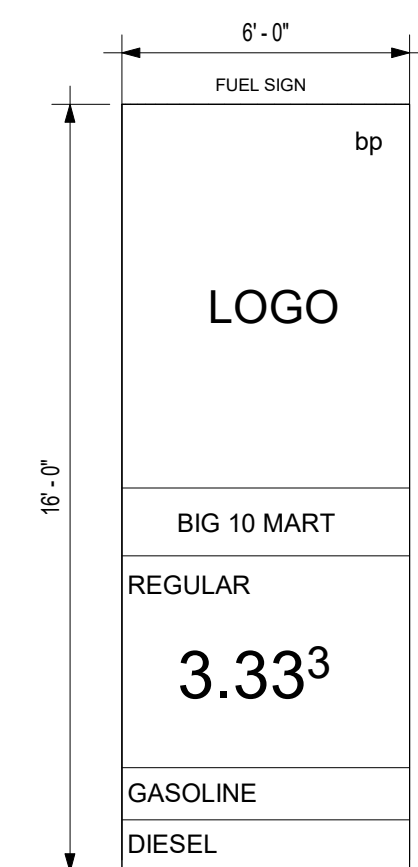
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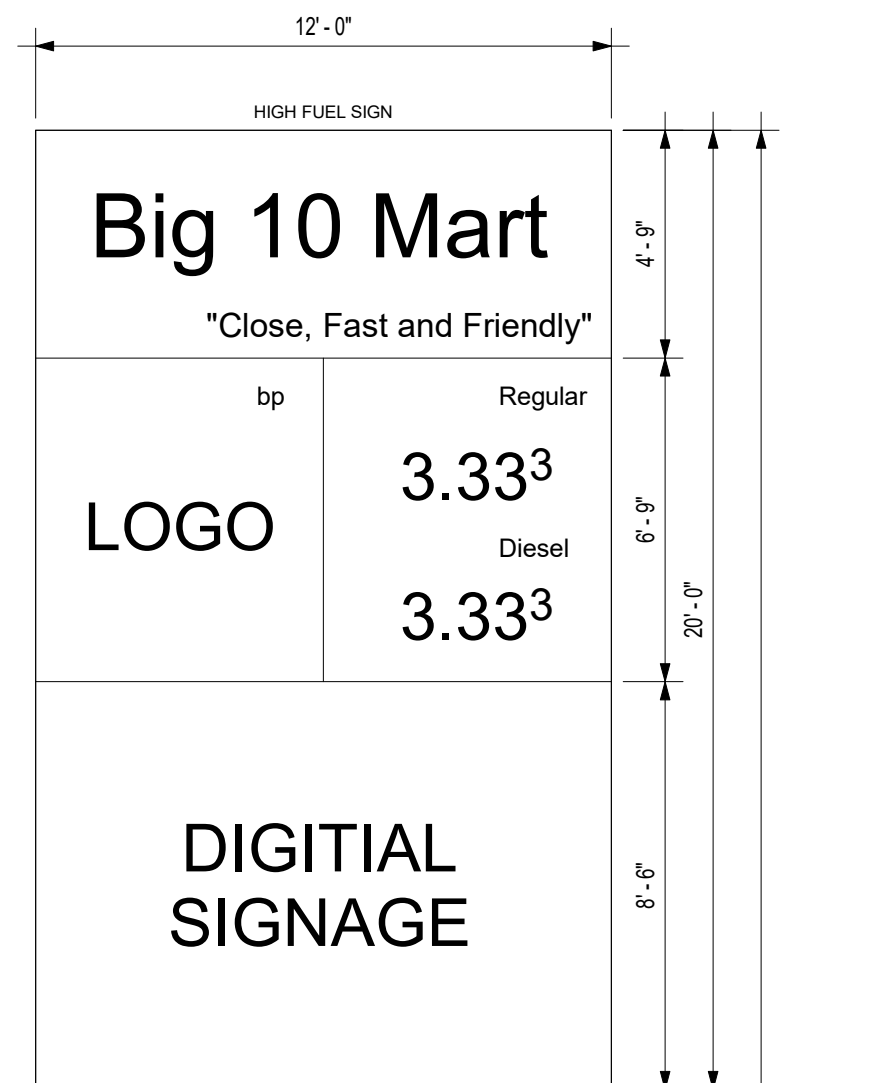
A2 EV CHARGING TERMINALS  
AS200 1/4" = 1'-0" REF'D: AS101



A3 AIR COMPRESSOR  
AS200 1/4" = 1'-0" REF'D: AS102

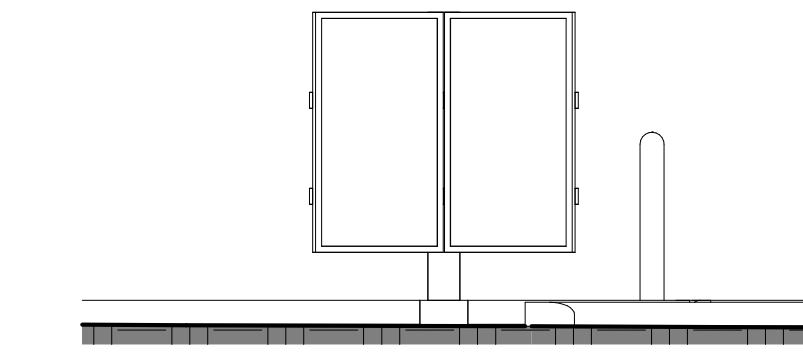


A4 FRONT MONUMENT SIGN  
AS200 1/4" = 1'-0" REF'D: AS101  
MOCK MONUMENT SIGN LAYOUT,  
ACTUAL SIGNAGE MAY DIFFER,  
VERIFY WITH OWNER

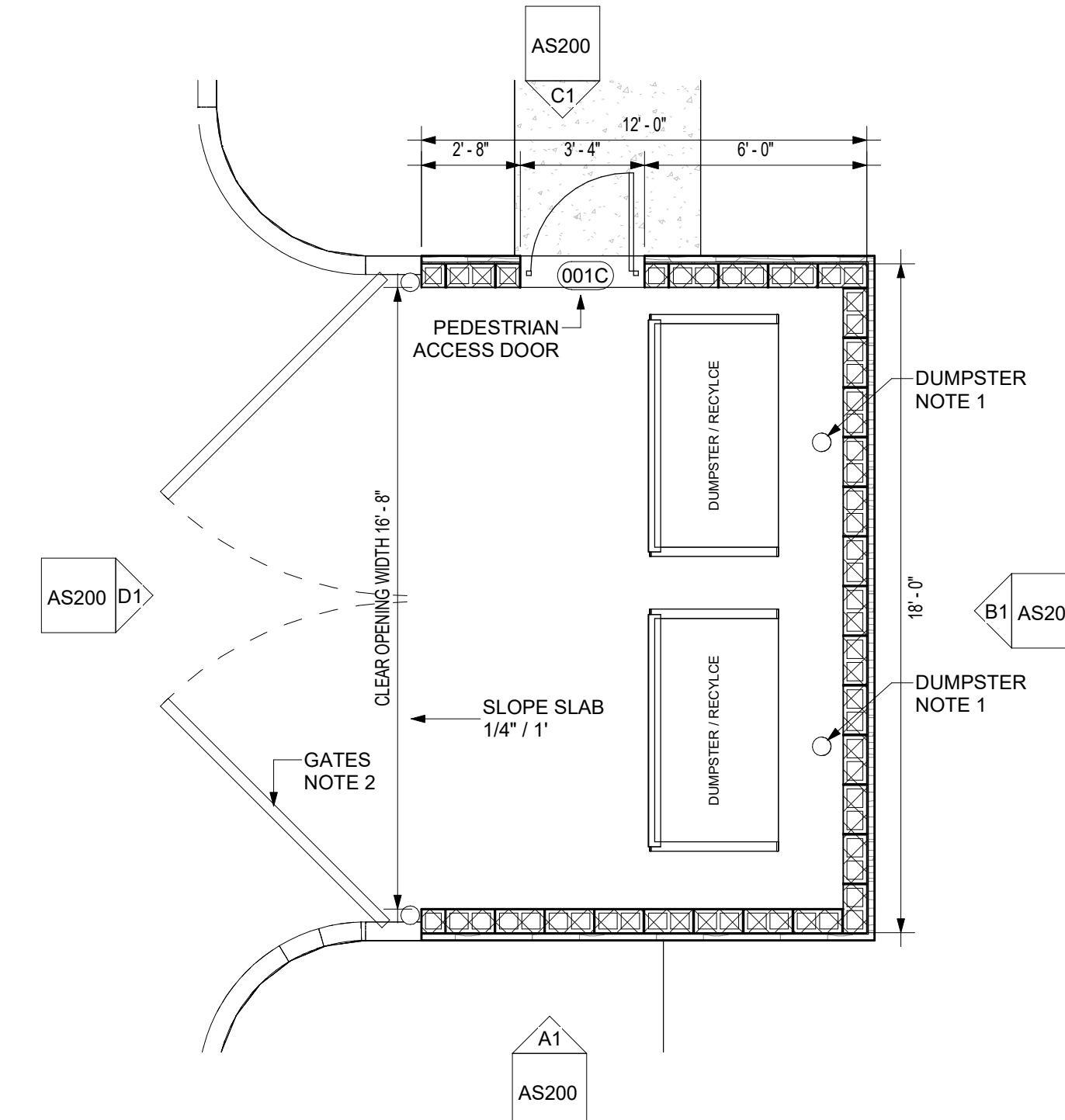


B4 PYLON SIGN  
AS200 1/4" = 1'-0" REF'D: AS101  
MOCK MONUMENT SIGN LAYOUT,  
ACTUAL SIGNAGE MAY DIFFER,  
VERIFY WITH OWNER

3



C2 DRIVE THRU MENU BOARDS  
AS200 1/4" = 1'-0" REF'D: AS102



D2 SITE - ENLARGED DUMPSTER PLAN  
AS200 1/4" = 1'-0" REF'D: AS102

DUMPSTER ENCLOSURE NOTES

- BOLLARD PROTECTION: 6" STEEL BOLLARD FILLED W/ CONCRETE, SET IN 18"x18" CONCRETE FOUNDATION, RE: E4/AS111.
- OPAQUE METAL GATES/DOORS (MIN. 18 GAUGE METAL, MATCH BLDG METAL COLOR).

4

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Project Status: FEASIBILITY  
GTG A Job # 221067  
GTG C Job # N/A

Project:  
**HCC BIG 10 MART MT JOY**

**SITE PLAN ELEVATIONS**

**AS200**

A

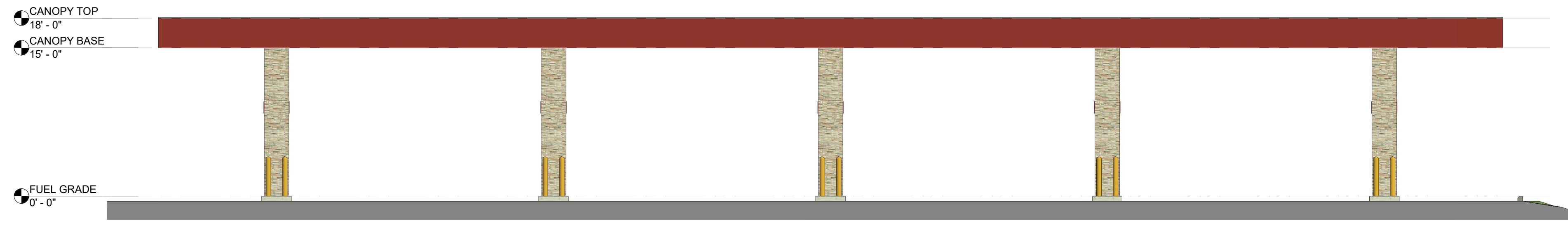
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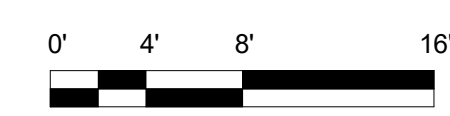
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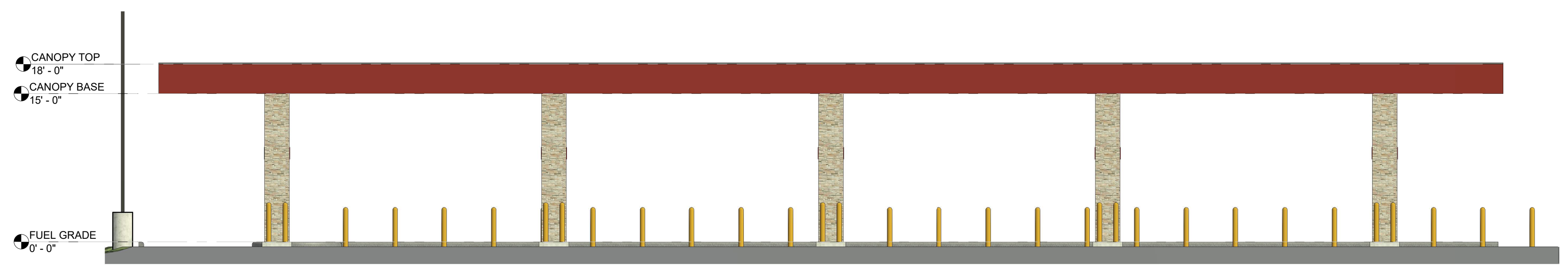
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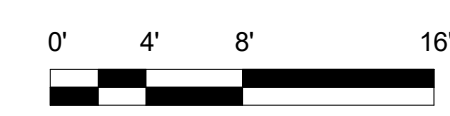
A1 CAR CANOPY - EAST ELEVATION  
AS201 1/8" = 1'-0" REF'D : AS101



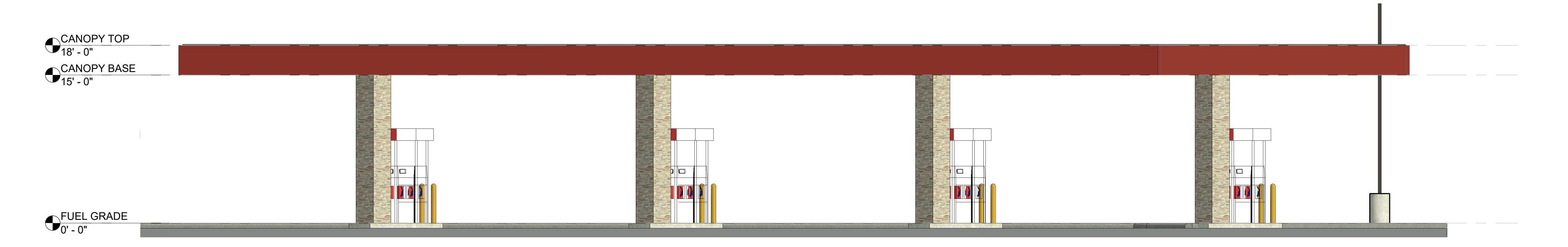
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A2 CAR CANOPY - WEST ELEVATION  
AS201 1/8" = 1'-0" REF'D : AS101



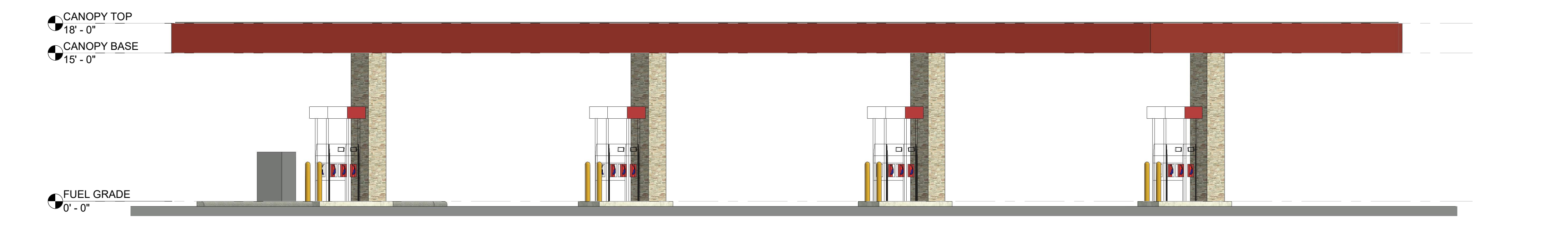
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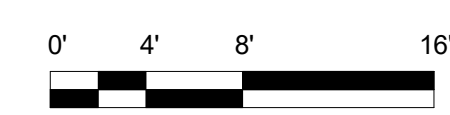
A3 TRUCK CANOPY - NORTH ELEVATION  
AS201 1/8" = 1'-0" REF'D : AS102



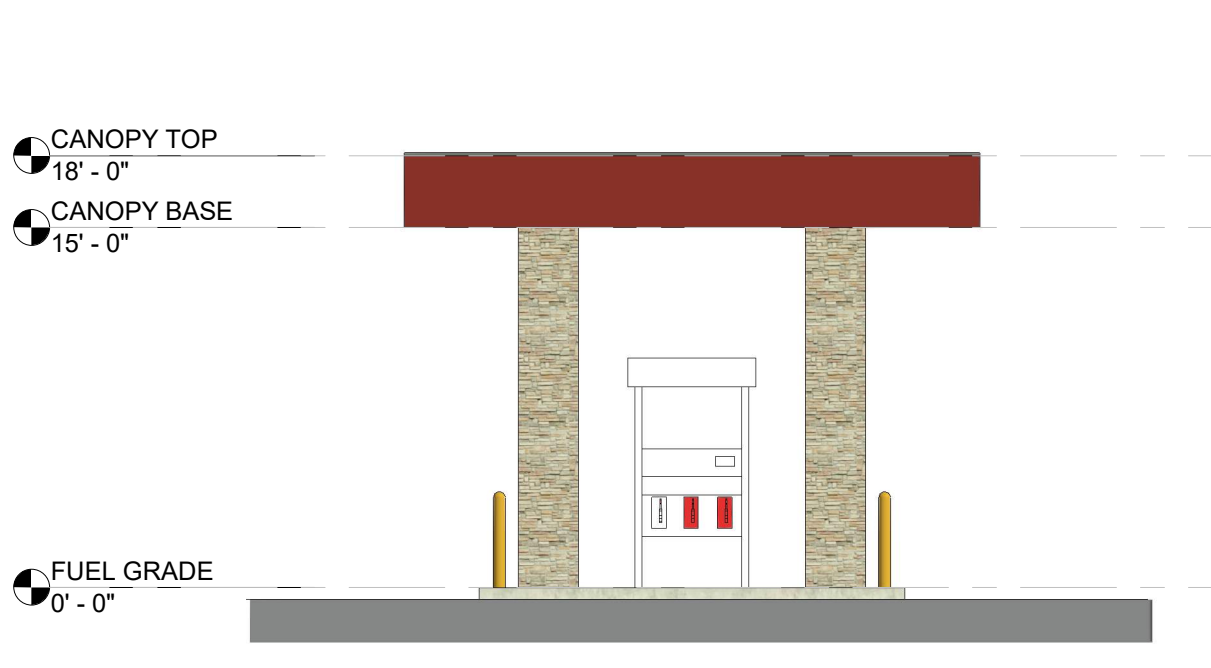
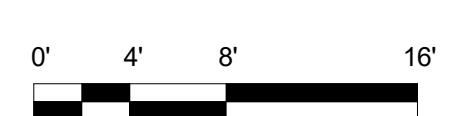
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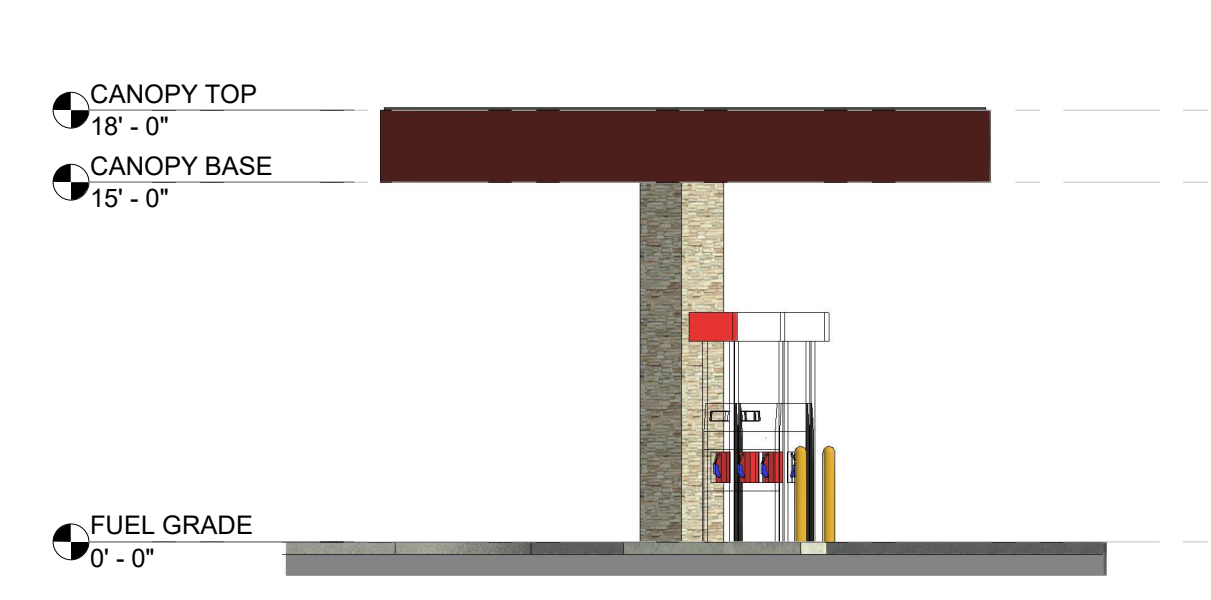
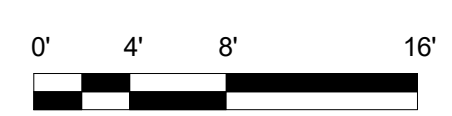
A4 TRUCK CANOPY - SOUTH ELEVATION  
AS201 1/8" = 1'-0" REF'D : AS102



D1 CAR CANOPY - NORTH ELEVATION  
AS201 1/8" = 1'-0" REF'D : AS101



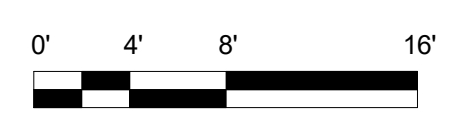
D2 CAR CANOPY - SOUTH ELEVATION  
AS201 1/8" = 1'-0" REF'D : AS101



C3 TRUCK CANOPY - WEST ELEVATION  
AS201 1/8" = 1'-0" REF'D : AS102



C4 TRUCK CANOPY - EAST ELEVATION  
AS201 1/8" = 1'-0" REF'D : AS102



**CANOPY GENERAL NOTES:**

- FUEL CANOPYS ARE SHOWN FOR REFERENCE. CANOPYS & FUEL PUMPS ARE PROVIDED BY OTHERS. HEIGHT, MATERIAL, & COLOR ARE NOT DETERMINED AT THIS TIME.



**Client**  
Big 10 Mart  
123 Southern Ave  
Dubuque, IA 52003



**Project**  
Big 10 Mart Mt. Joy  
20919 Brady St  
Davenport, IA 52804



**General Contractor**  
Hodge Construction Co. Inc.  
767 52nd Avenue, Suite 201  
Moline, IL 61265  
309-762-7977



**Architect**  
GTG Architects, LLC  
6505 Merle Hay Road  
Johnston, IA 50131  
515-528-8178



**Structural Engineer**  
Select Structural Engineering  
2435 Kimberly Rd #240s  
Bettendorf, IA 52722  
563-359-3117



**Civil**  
Townsend Engineering  
2224 E. 12th Street  
Davenport, IA 52803  
563-368-4236

**DRAWING ISSUE SCHEDULE**

Date	Description
08/25/2023	SITE PLAN PERMIT P&Z RESUBMITTAL

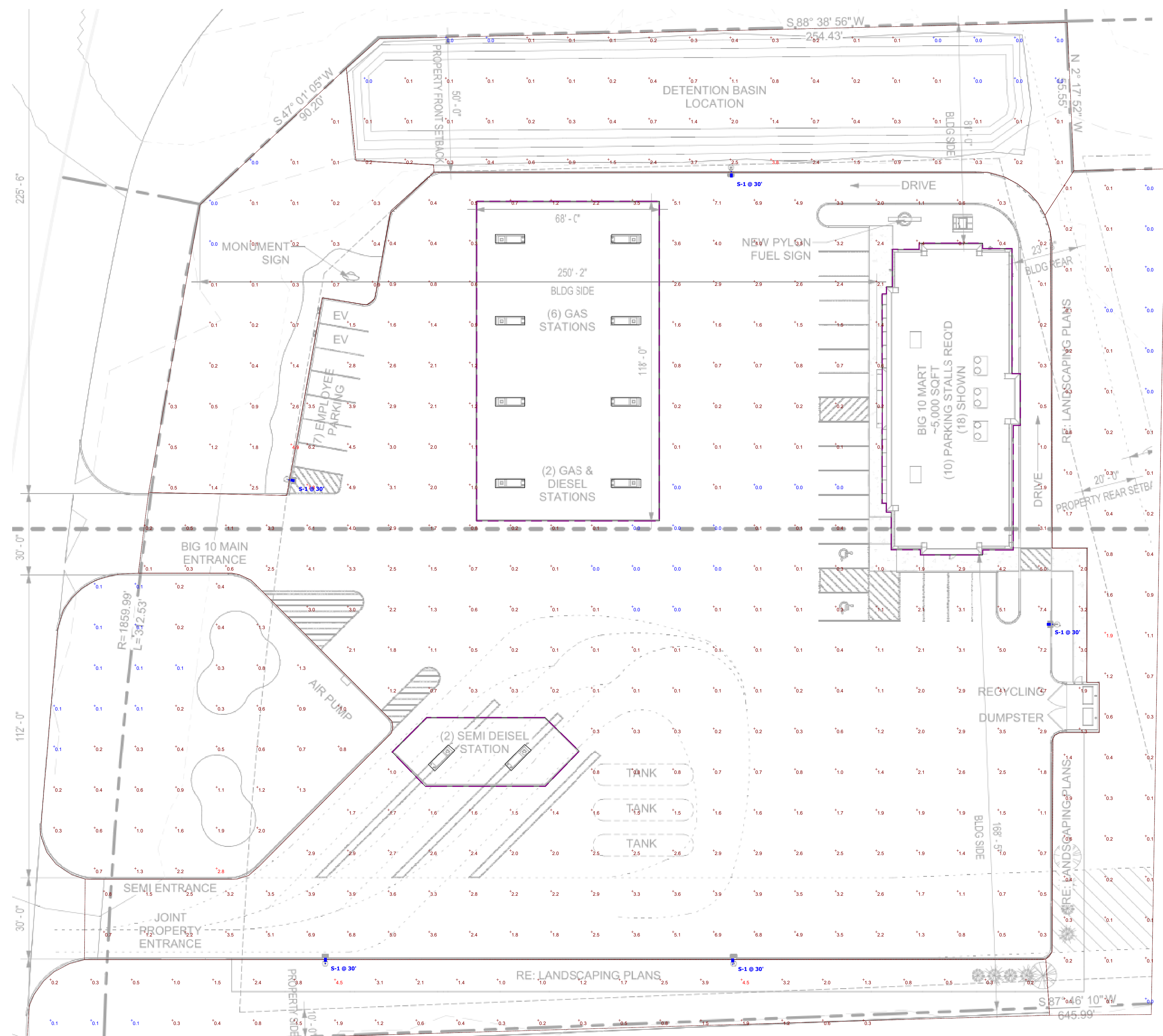
Project Status: FEASIBILITY  
GTG A Job # 221067  
GTG C Job # N/A

Project: **HCC BIG 10 MART MT JOY**

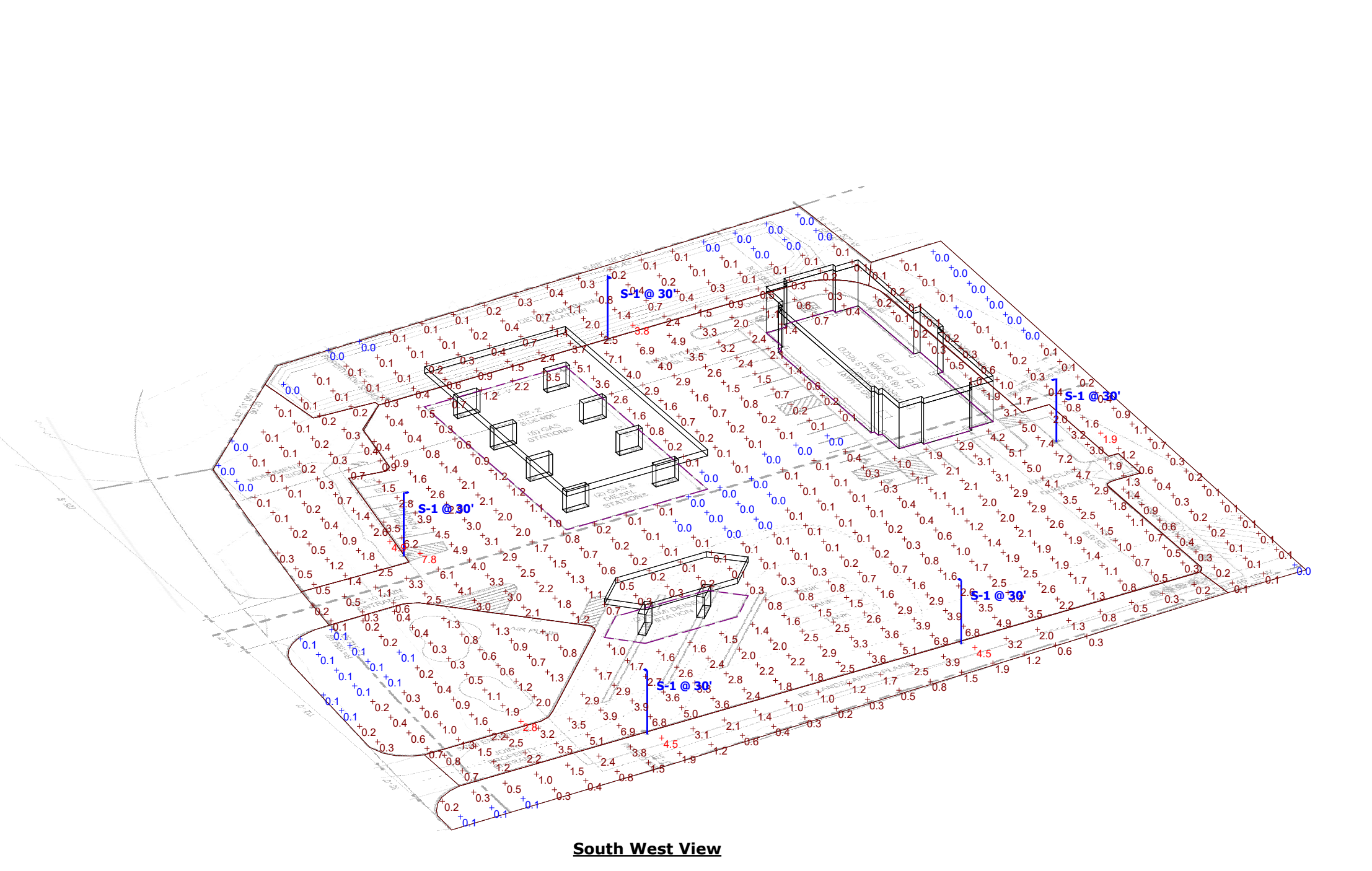
**SITE PLAN ELEVATIONS**

**AS201**

8/25/2023 12:07:28 PM



Plan View  
Scale: 1" = 20ft



South West View

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
S-1			5	Lithonia Lighting	RSX3 LED P4 40K R3	RSX Area Fixture Size 3 P4 Lumen Package 4000K CCT Type R3 Distribution	1	40446	0.95	311.92	

### Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Air Pum Grass Area	+	0.7 fc	2.8 fc	0.1 fc	28.0:1	7.0:1
Calc Zone #15	+	0.4 fc	1.9 fc	0.0 fc	N/A	N/A
Main Lot	+	1.8 fc	7.8 fc	0.0 fc	N/A	N/A
North Grass Area	+	0.5 fc	3.8 fc	0.0 fc	N/A	N/A
South Grass Area	+	1.3 fc	4.5 fc	0.1 fc	45.0:1	13.0:1
West Grass Area	+	0.7 fc	4.9 fc	0.0 fc	N/A	N/A

**Specifications**

- Size: 0.70 ft (0.07 m)
- Length: 33.8" (85.9 cm)
- Width: 16.1" (40.9 cm)
- Height: 3.0" (7.6 cm)
- Weight: 48.0 lbs (21.8 kg)

**RSX3 LED Area Luminaire**

**Introduction**

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX3 delivers 25,000 to 41,000 lumens allowing it to replace 40W to 100W HID luminaires.

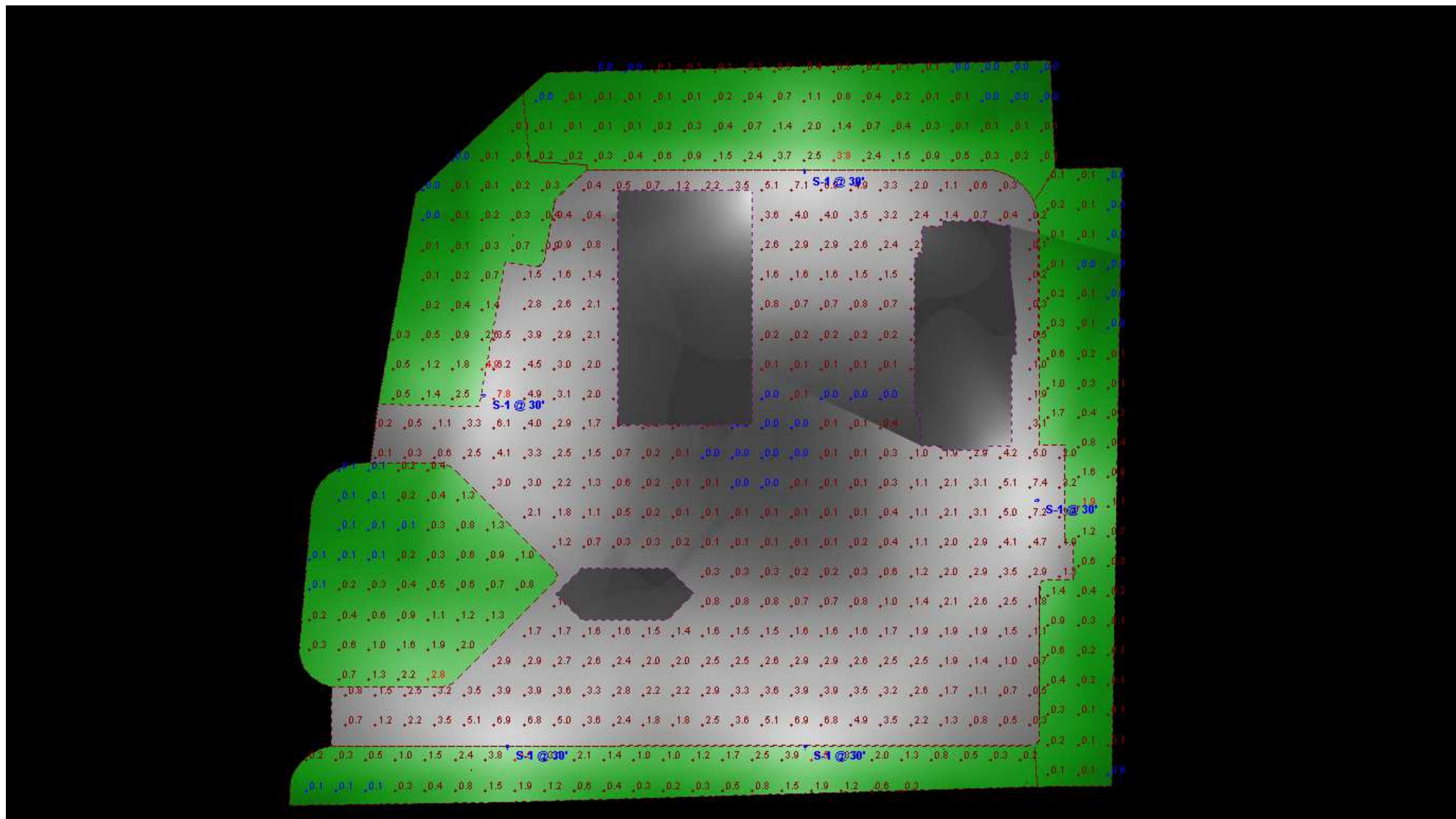
The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing grid pole patterns. The "no-drill" solution provides significant labor savings. An easy access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral airfilter and other mounting configurations are available.

**Ordering Information**

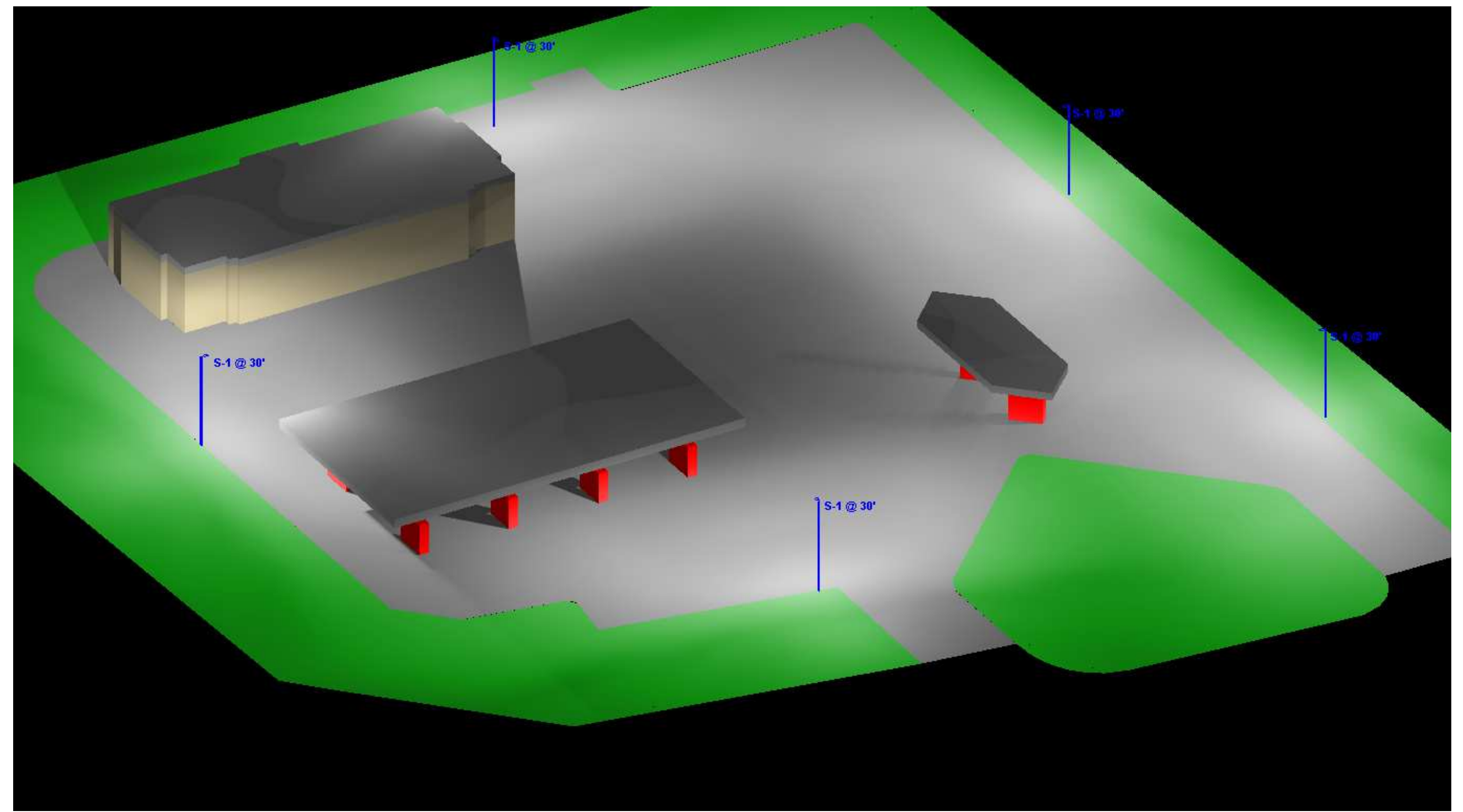
EXAMPLE: RSX3 LED P4 40K R3 MVOLT SPA DBXDD

Order Code	Configuration	Color Temperature	Distribution	Mounting	Accessories
RSX3DD	P4	40K	R3	DBXDD	DBXDD

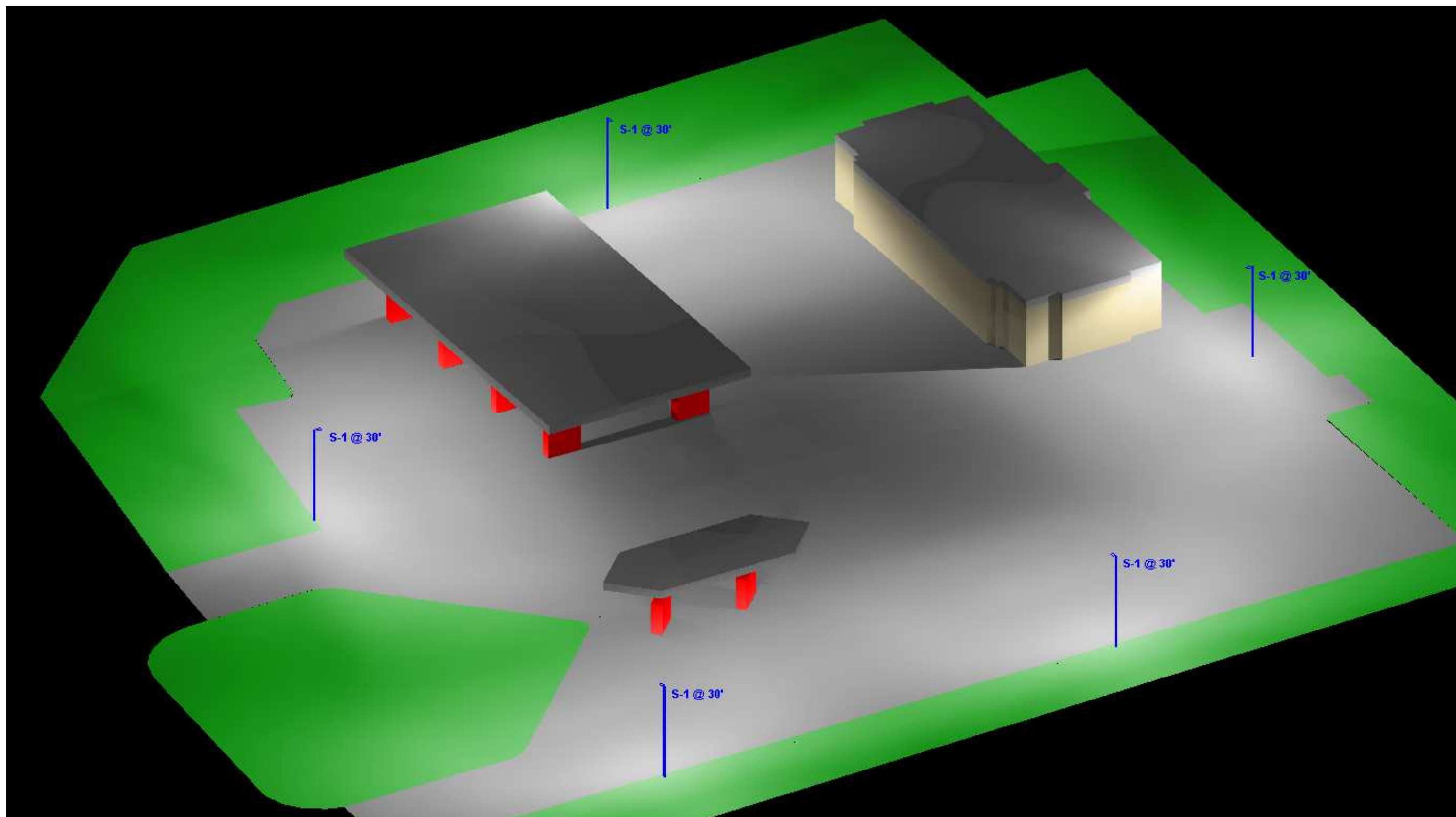




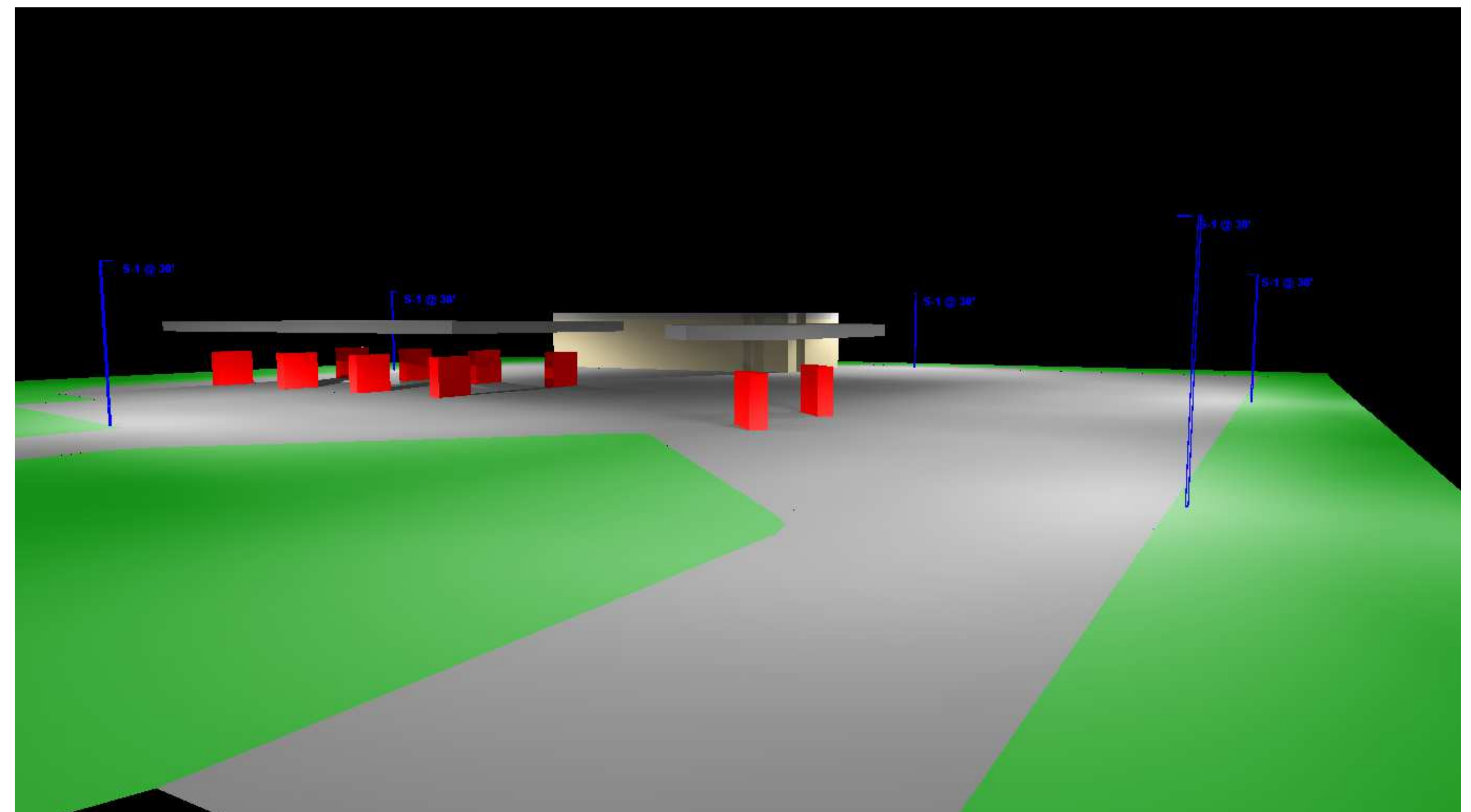
Plan View



Northwest View



Southwest View



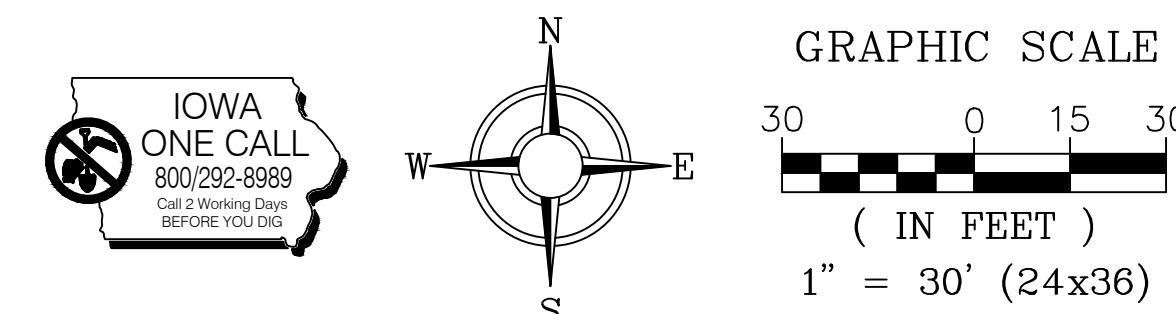
Street View

# HODGE CONSTRUCTION

## Big 10 Mart

TO SCOTT COUNTY, IA

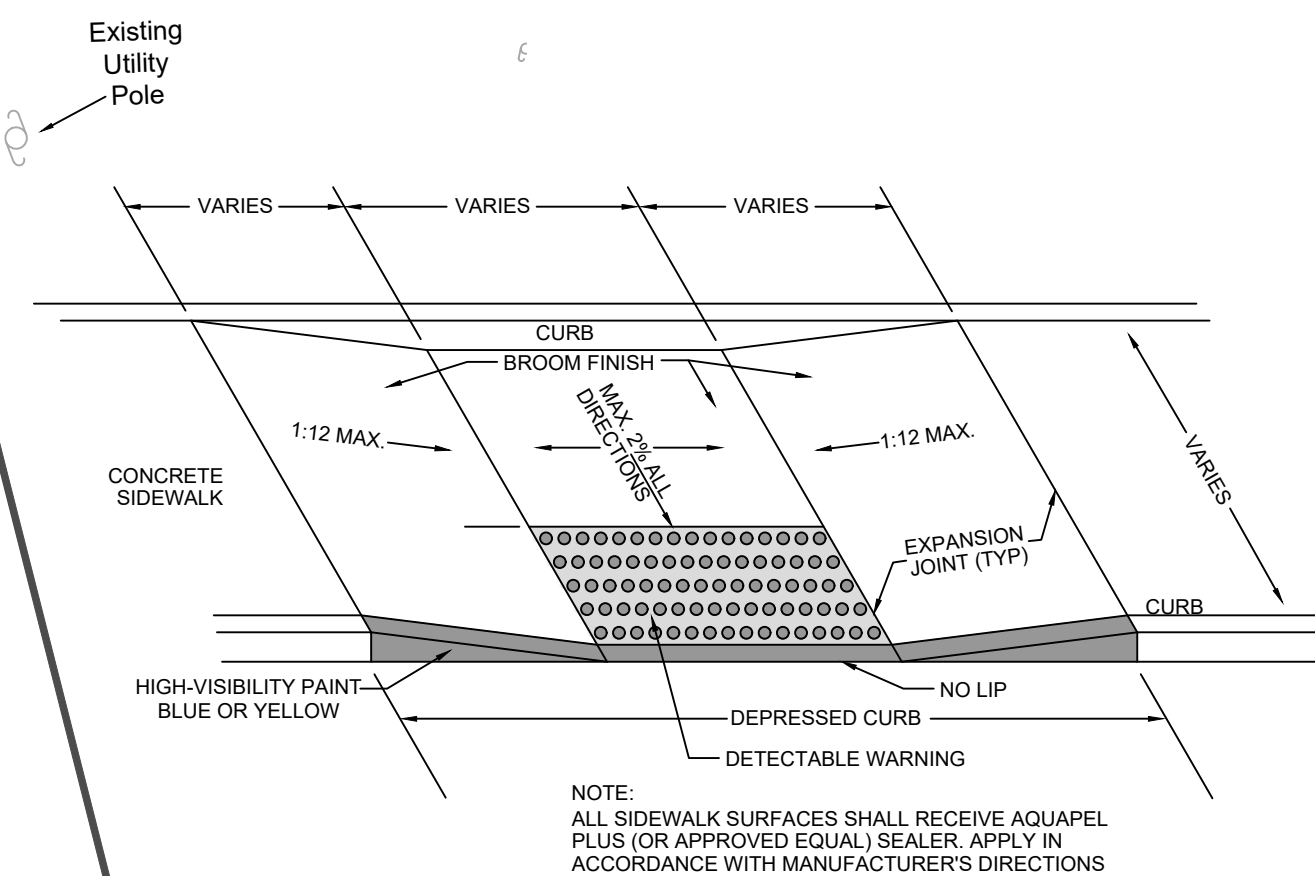
210th STREET E 90th STREET F55



SITE LOCATION MAP

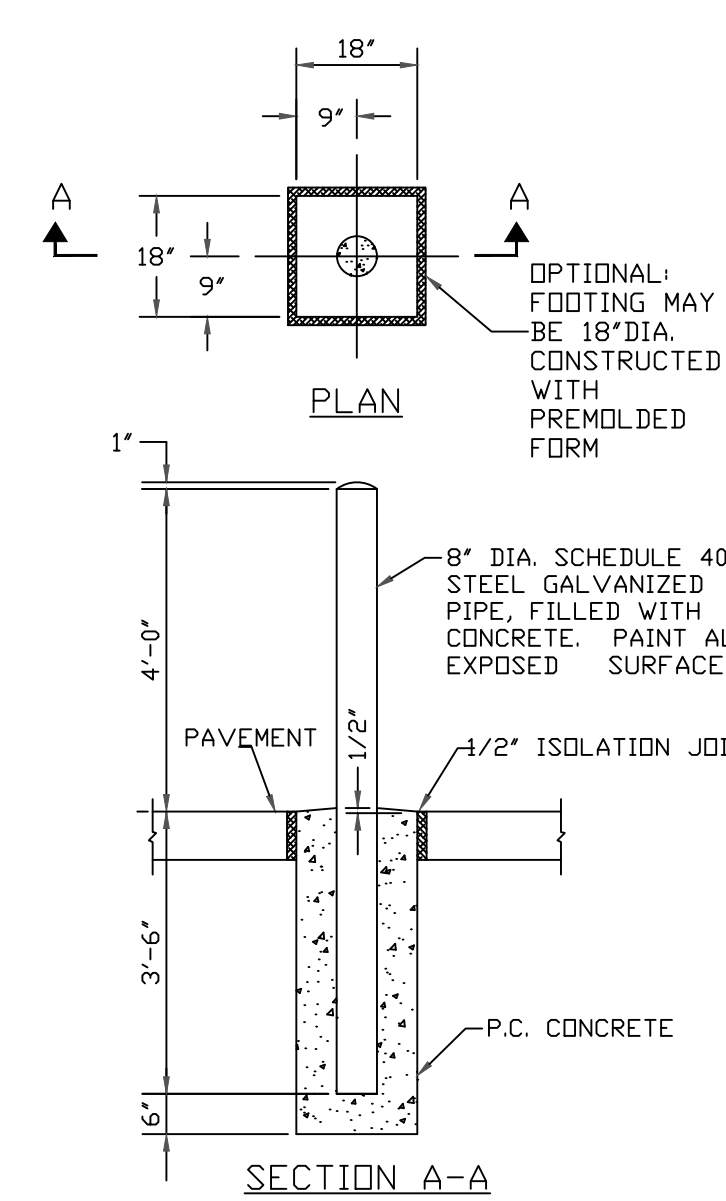


APPROXIMATE SITE LOCATION



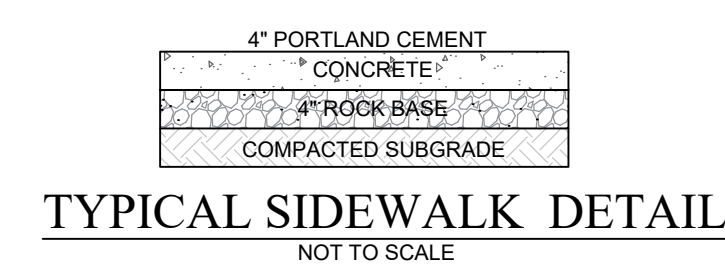
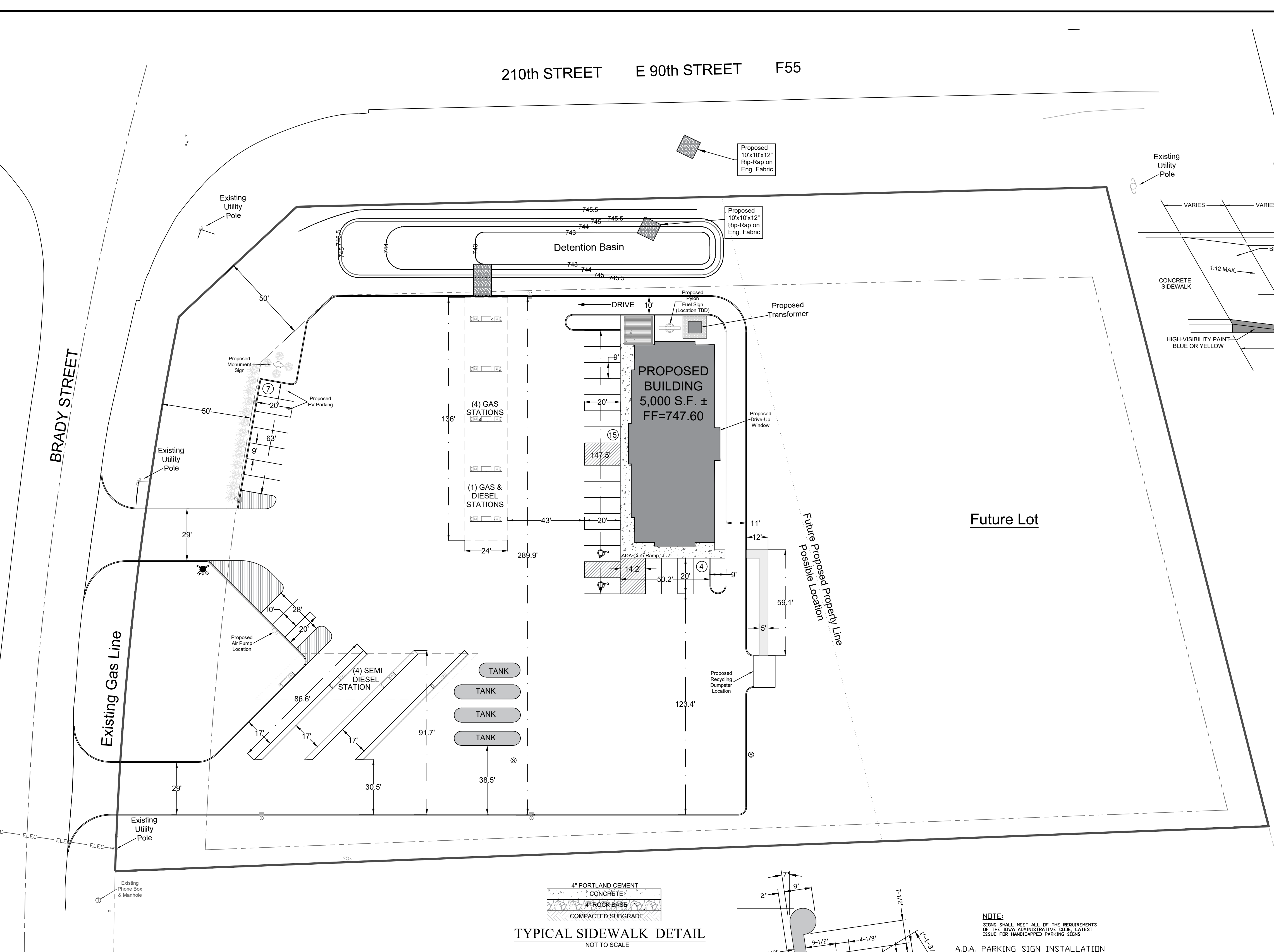
NOTE: ALL SIDEWALK SURFACES SHALL RECEIVE AQUAPEL PLUS (OR APPROVED EQUAL) SEALER, APPLY IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS

HANDICAP CURB RAMP  
NOT TO SCALE

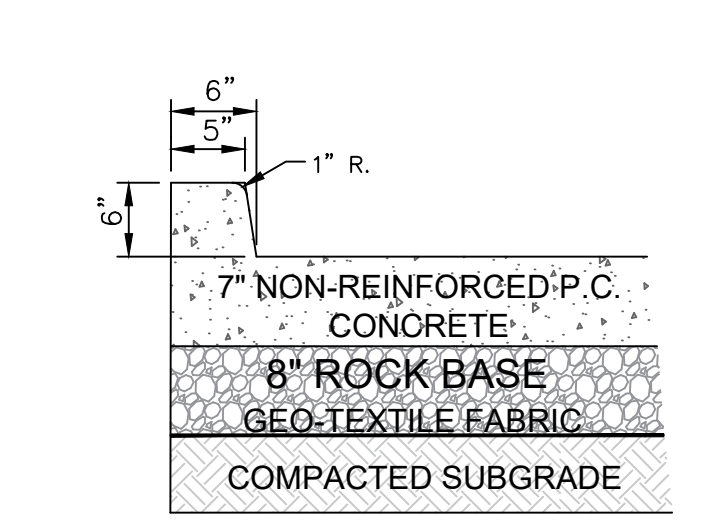


TYPICAL BOLLARD DETAIL  
NOT TO SCALE

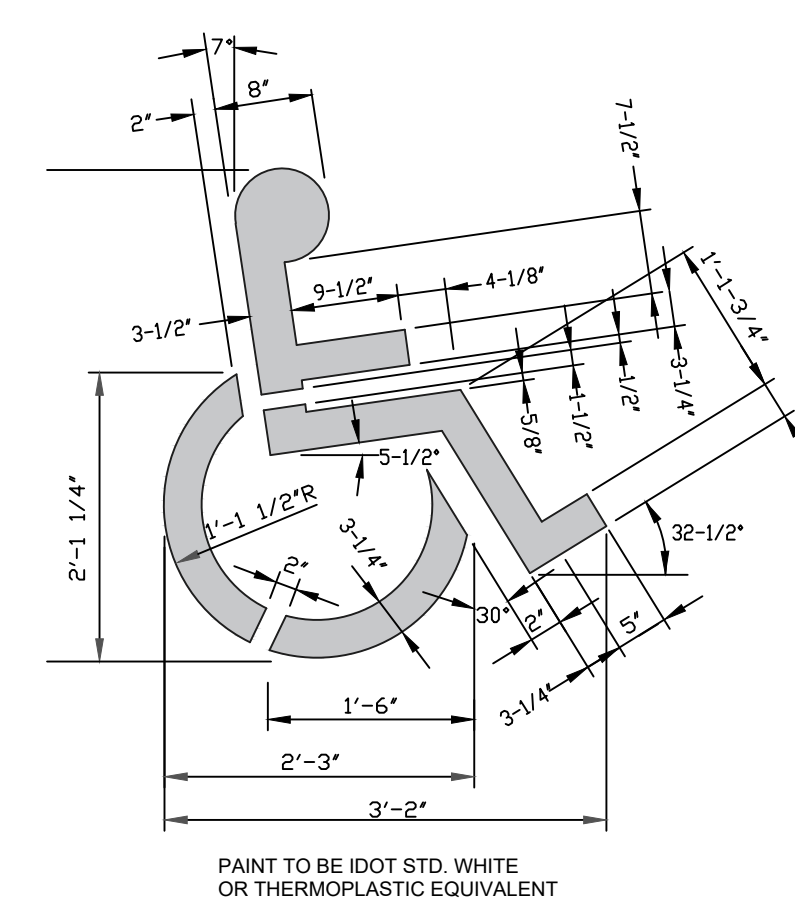
- GENERAL NOTES**
- ALL IMPROVEMENTS SHOWN ON THESE ENGINEERING PLANS SHALL COMPLY WITH SCOTT COUNTY IOWA STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, LATEST EDITION, AND THE STANDARDS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES, LATEST EDITION.
  - LEGAL DESCRIPTION OF PROPERTY:  
Parcel ID 935601007  
Alternate ID  
Property Address 20919 BRADY ST  
SCOTT COUNTY IA 52804  
Sec/Twp/Rng 36-79-03
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVED STREETS, INCLUDING ANY NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY CONFLICTS WITH THE DRAWINGS OCCUR. ANY DAMAGE TO EXISTING UTILITIES AND/OR PAVED STREETS CAUSED BY TRENCHING AND GRADING OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE.
  - THE CONTRACTOR SHALL NOTIFY THE COUNTY AND THE ENGINEER 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
  - PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREAS. DO NOT ALLOW WATER TO DRAIN OR TO POND ONTO ADJOINING PROPERTY OR PUBLIC RIGHT-OF-WAY.
  - ALL DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE PROPERLY DISPOSED OF OFF-SITE.
  - CONCRETE PAVEMENT SHALL CONFORM TO THE REQUIREMENTS OF IOWA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAYS AND BRIDGE CONSTRUCTION, SECTION 2301, PORTLAND CEMENT CONCRETE PAVEMENT. CONCRETE PAVEMENT WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF DAVENPORT STANDARDS AND SPECIFICATIONS.
  - ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL CONFORM TO THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL, LATEST EDITION.
  - NOTE: ALL DIMENSIONS ARE TO THE BACK OF CURB, UNLESS OTHERWISE NOTED.



TYPICAL SIDEWALK DETAIL  
NOT TO SCALE



TYPICAL PCC PAVING DETAIL  
NOT TO SCALE



A.D.A. PARKING SYMBOL  
NOT TO SCALE

NOTE: SIGNS SHALL MEET ALL OF THE REQUIREMENTS OF THE IOWA ADMINISTRATIVE CODE, LATEST ISSUE FOR HANDICAPPED PARKING SIGNS

A.D.A. PARKING SIGN INSTALLATION  
NOT TO SCALE



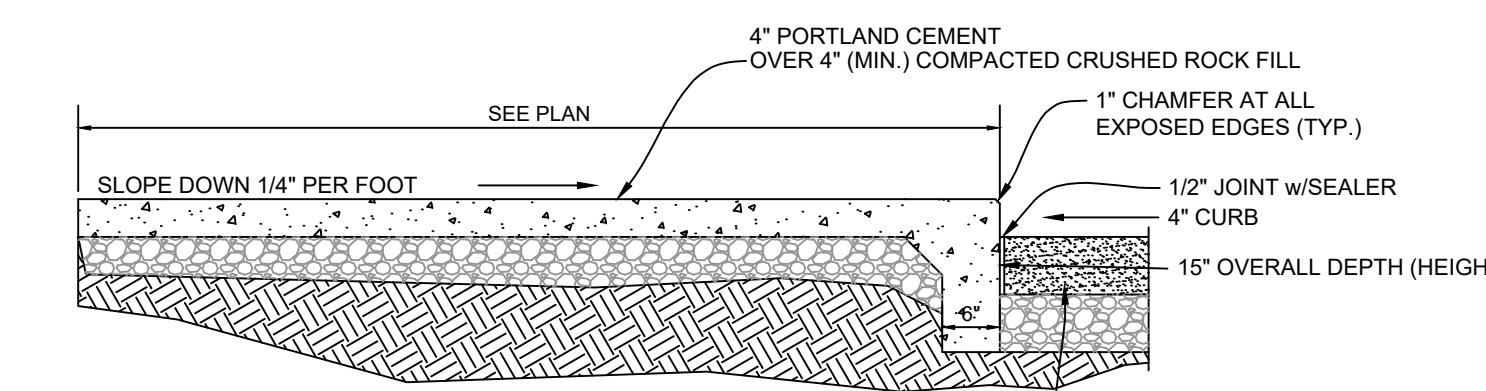
**C-2 Zoning Requirements**

Front Yard Setback: 50' Minimum

Side Yard Setback: 10' Minimum

Rear Yard Setback: 20' Minimum

Parking: General Commercial / Retail Sales Under 5,000 S.F.  
1 Space Per Every 500 S.F. Gross Floor Area  
Total Required Parking Spaces = 10  
Total Proposed Parking Spaces = 19



NOTES:  
1. PROVIDE 3/8" WIDE x 1" DEEP TOOLED CONTRACTION JOINTS (TJ) AT 5' O.C. MAX. OR WHERE SHOWN ON PLAN.  
2. TURN DOWN EDGE AT PAVEMENT AREA ONLY.

P.C.C. BARRIER SIDEWALK  
NOT TO SCALE

**LEGEND:**

--- EASEMENT	⊗ EXISTING GAS VALVE	- - - - - EXISTING CONTOUR LINE
--- SETBACK LINE	○ EXISTING WATER VALVE	- - - - - PROPOSED CONTOUR LINE
--- CENTERLINE	○ EXISTING UTILITY POLE	○ 715.00 JC SPOT ELEVATION TOP OF CURB
--- PROPERTY BOUNDARY	○ EXISTING LIGHT POLE	○ 715.00 FL SPOT ELEVATION FL @ CUTTER
--- EXISTING FENCE	○ EXISTING TREE	○ 715.00 TW SPOT ELEVATION SIDEWALK
--- EXISTING SANITARY	○ EXISTING BUSH	○ 715.00 FF FINISHED FLOOR ELEVATION
--- PROPOSED SANITARY	○ EXISTING MANHOLE	
--- EXISTING STORM SEWER	○ EXISTING FIRE HYDRANT	
--- PROPOSED STORM SEWER	○ FOUND PROPERTY PIN	
--- EXISTING WATER	○ CONTROL POINT	
--- PROPOSED WATER		
--- EXISTING GAS LINE		
--- EXISTING ELECTRIC		

**TOWNSEND ENGINEERING**  
CIVIL • STRUCTURAL • LAND DEVELOPMENT

DATE: 7/21/2023

563 386.4236 office 386.4231 fax  
2224 East 12th Street, Davenport, IA 52803

DRAWN BY: TAS  
CHECKED BY: CRT

DRAWING LOCATION: S:\HODGE\BIG 10 MART\SE CORNER LOT\BIG 10 MART.DWG

NO.	REVISIONS: DESCRIPTION	DATE

**PROJECT**

SITE PLAN  
BIG 10 MART  
20919 BRADY STREET  
SCOTT COUNTY, IOWA 52806

**DEVELOPER**

HODGE CONSTRUCTION  
767 57TH AVENUE  
SUITE 201  
MOLINE, ILLINOIS 61265

**SHEET NO.**

C1

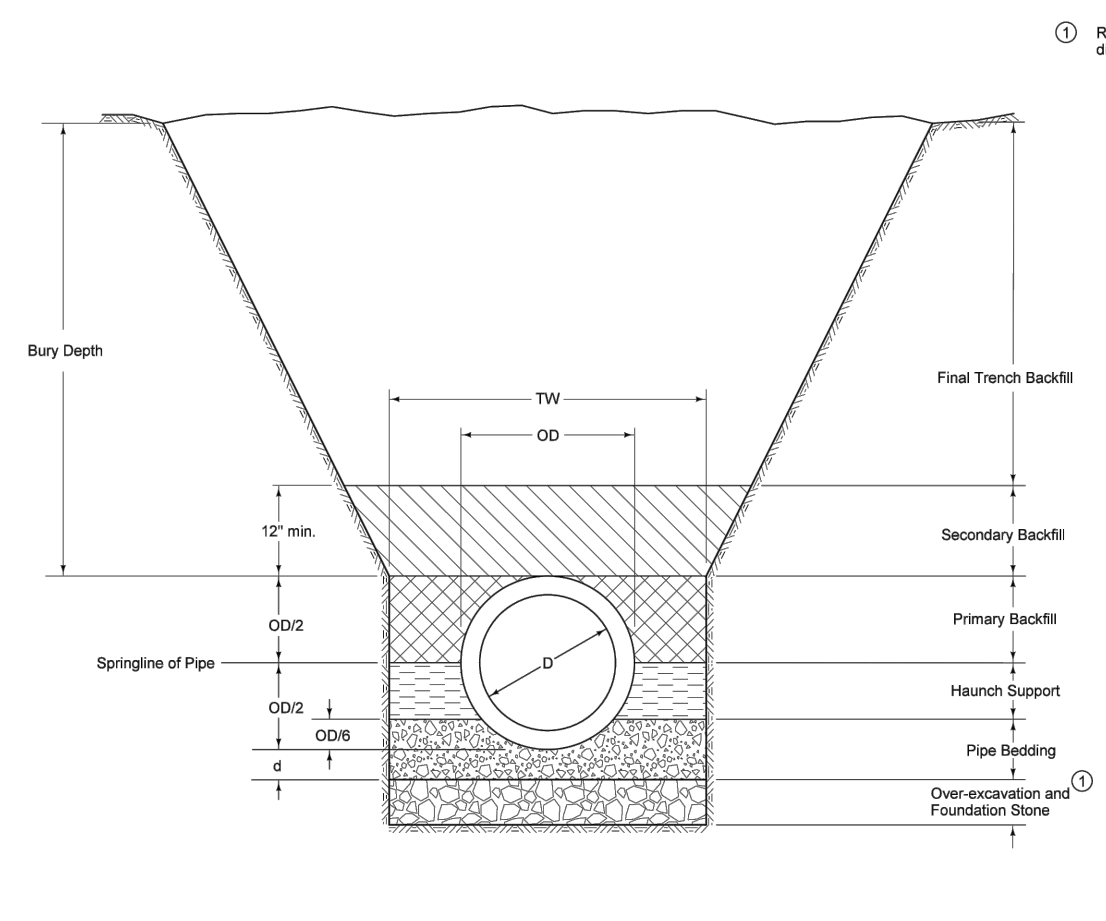
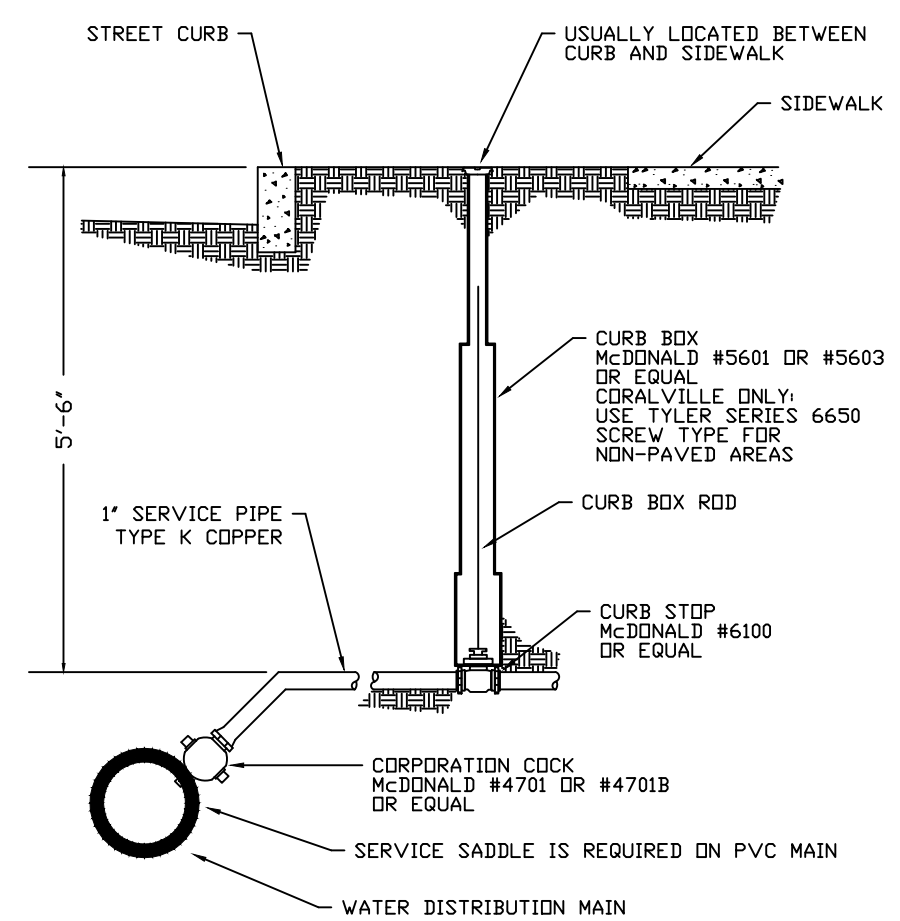
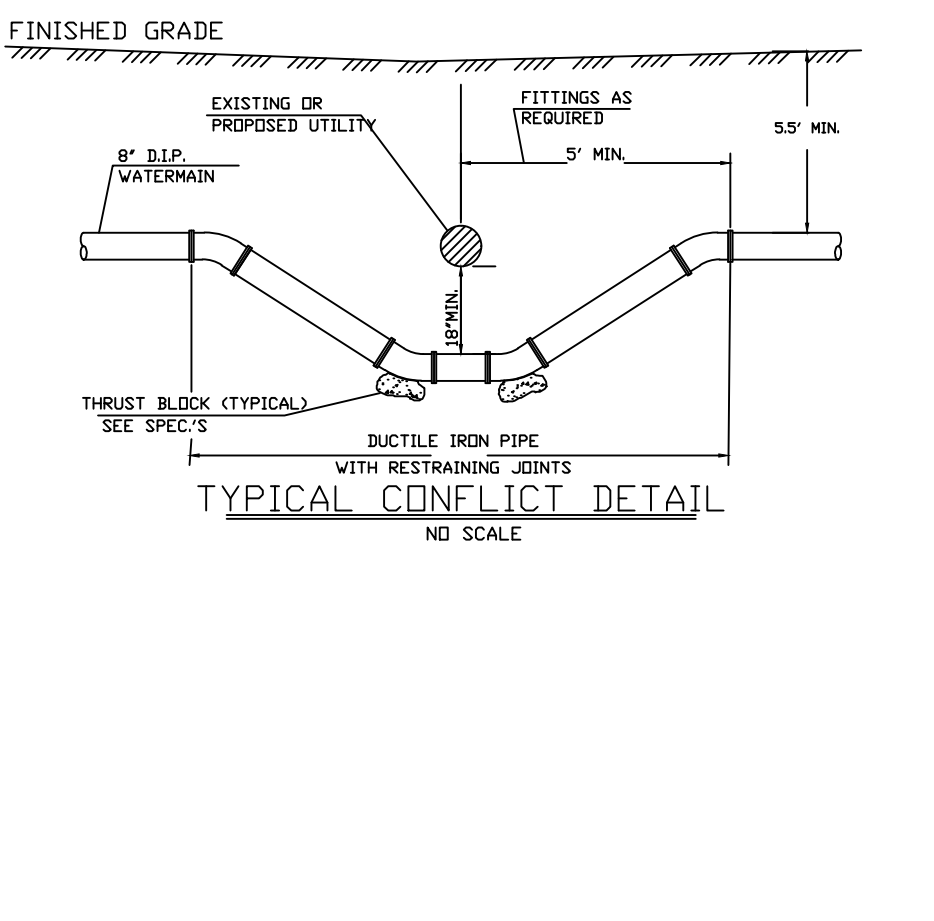
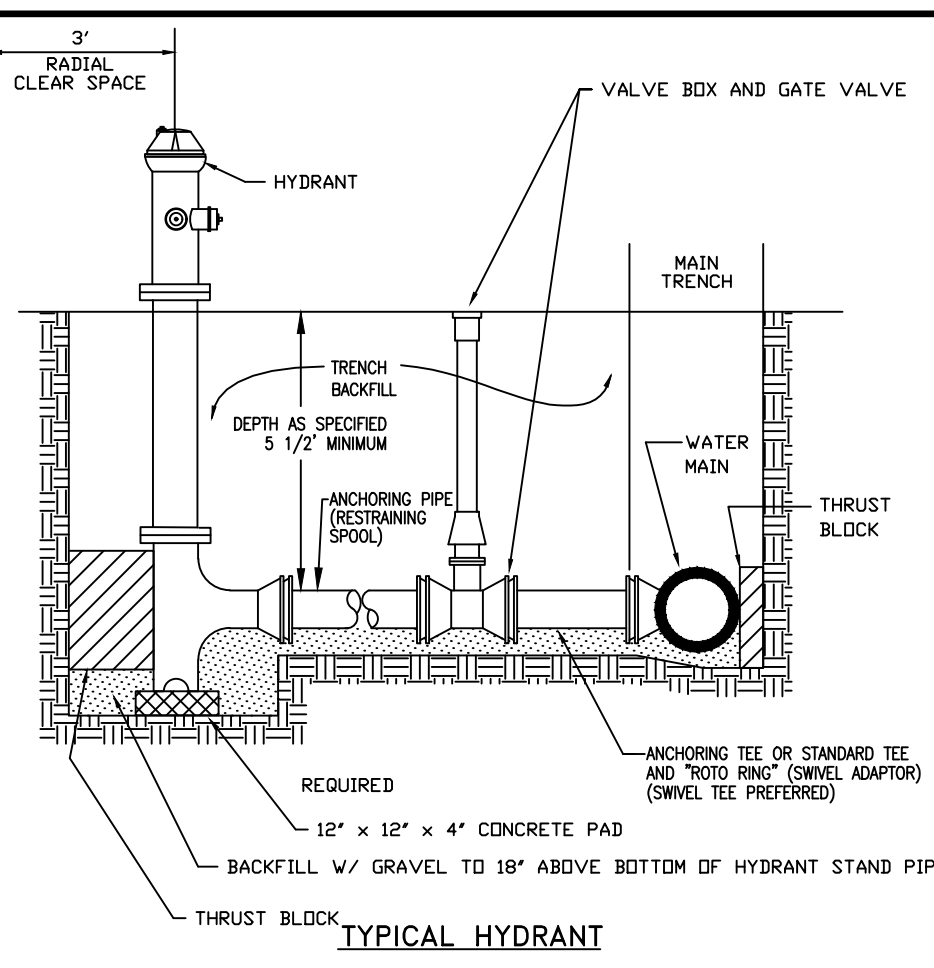
# HODGE CONSTRUCTION

## Big 10 Mart

TO SCOTT COUNTY, IA

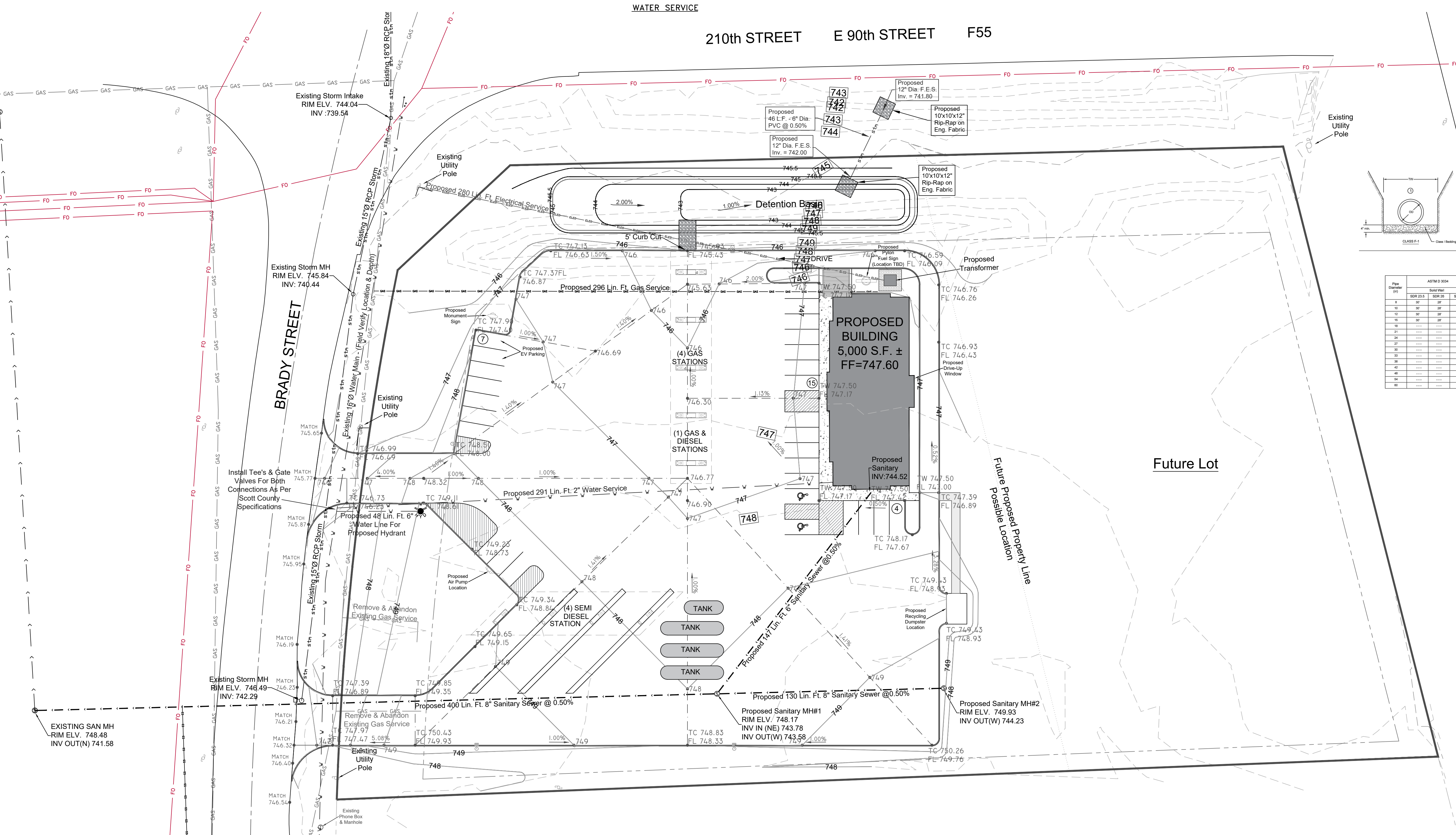
**IOWA ONE CALL**  
800.232.6969  
CALL BEFORE YOU DIG

GRAPHIC SCALE  
30 0 15 30  
( IN FEET )  
1" = 30' (24x36)

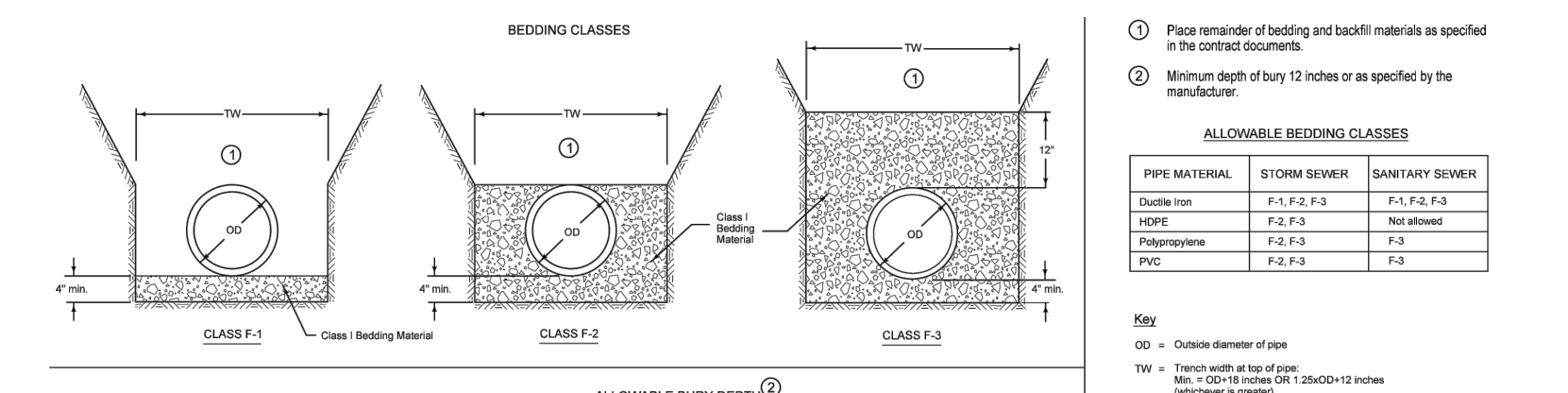


Key  
OD = Outside diameter of pipe  
ID = Inside diameter of pipe  
TW = Trench width at top of pipe  
d = Depth of bedding material below pipe

① Required only when specified in the contract documents or when directed by the Engineer.

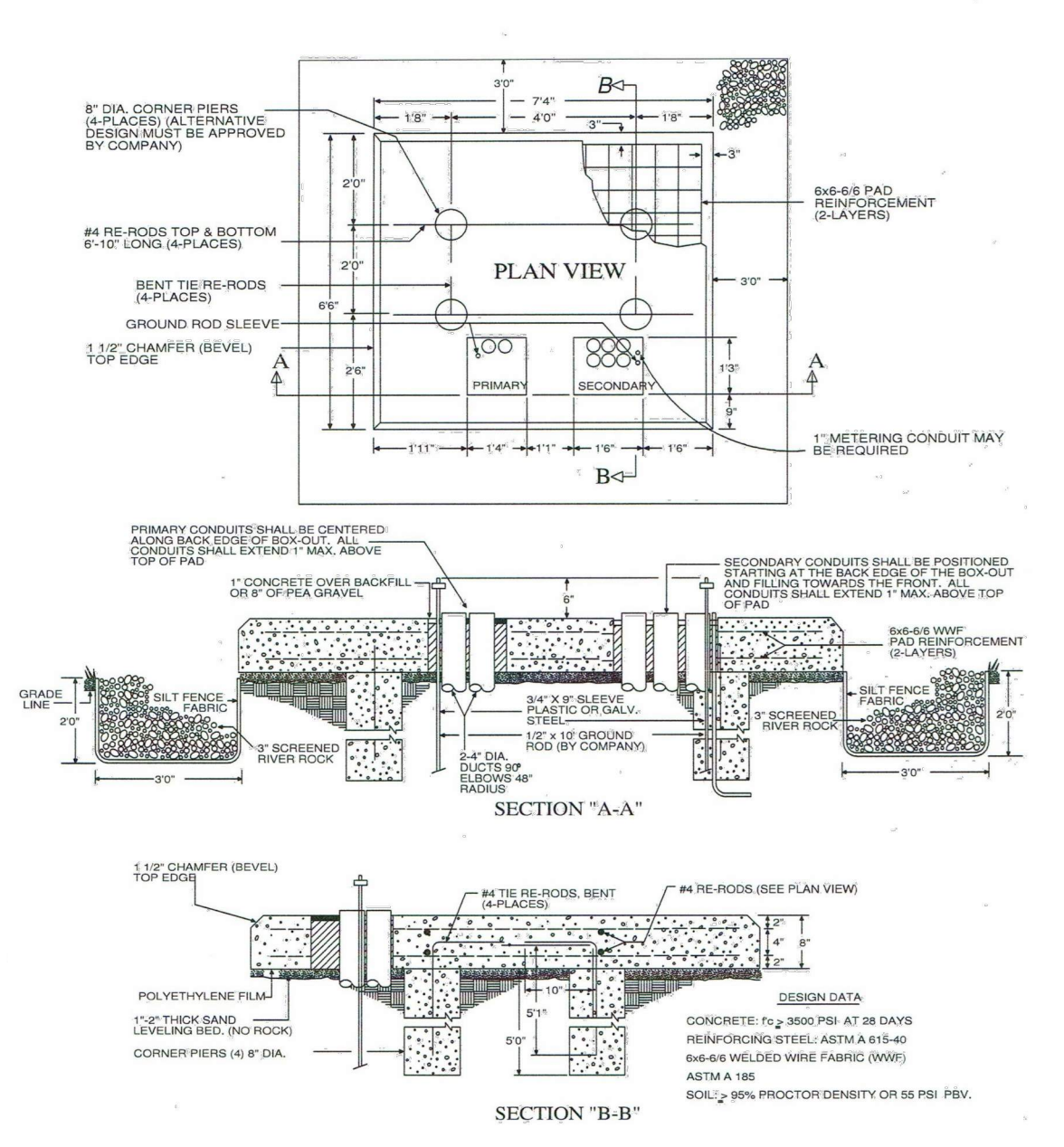


**GENERAL NOTES**  
1. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVED STREETS, INCLUDING ANY NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY CONFLICTS WITH THE DRAWINGS OCCUR. ANY DAMAGE TO EXISTING UTILITIES AND/OR PAVED STREETS CAUSED BY TRENCHING AND GRADING OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE.



Pipe Diameter (in)	PVC PIPE				DUCTILE IRON, ASTM A151, CLASS B1				HDPE PIPE				
	ASTM D 3034 SDR 35.5	ASTM F 481 SDR 35	ASTM F 481 SDR 41	ASTM F 481 SDR 49	ASTM F 481 SDR 35	ASTM F 481 SDR 41	ASTM F 481 SDR 49	ASTM F 481 SDR 35	ASTM F 481 SDR 41	ASTM F 481 SDR 49	ASTM F 481 SDR 35	ASTM F 481 SDR 41	ASTM F 481 SDR 49
8	30	30	34	34	30	30	34	34	30	30	34	34	34
10	30	30	34	34	30	30	34	34	30	30	34	34	34
12	30	30	34	34	30	30	34	34	30	30	34	34	34
15	30	30	34	34	30	30	34	34	30	30	34	34	34
18	30	30	34	34	30	30	34	34	30	30	34	34	34
21	30	30	34	34	30	30	34	34	30	30	34	34	34
24	30	30	34	34	30	30	34	34	30	30	34	34	34
27	30	30	34	34	30	30	34	34	30	30	34	34	34
30	30	30	34	34	30	30	34	34	30	30	34	34	34
36	30	30	34	34	30	30	34	34	30	30	34	34	34
42	30	30	34	34	30	30	34	34	30	30	34	34	34
48	30	30	34	34	30	30	34	34	30	30	34	34	34
54	30	30	34	34	30	30	34	34	30	30	34	34	34
60	30	30	34	34	30	30	34	34	30	30	34	34	34

**CONSTRUCTION DETAILS**  
CUSTOMER FURNISHED PADS FOR  
3-PHASE PAD-MOUNTED TRANSFORMERS  
75-500 KVA

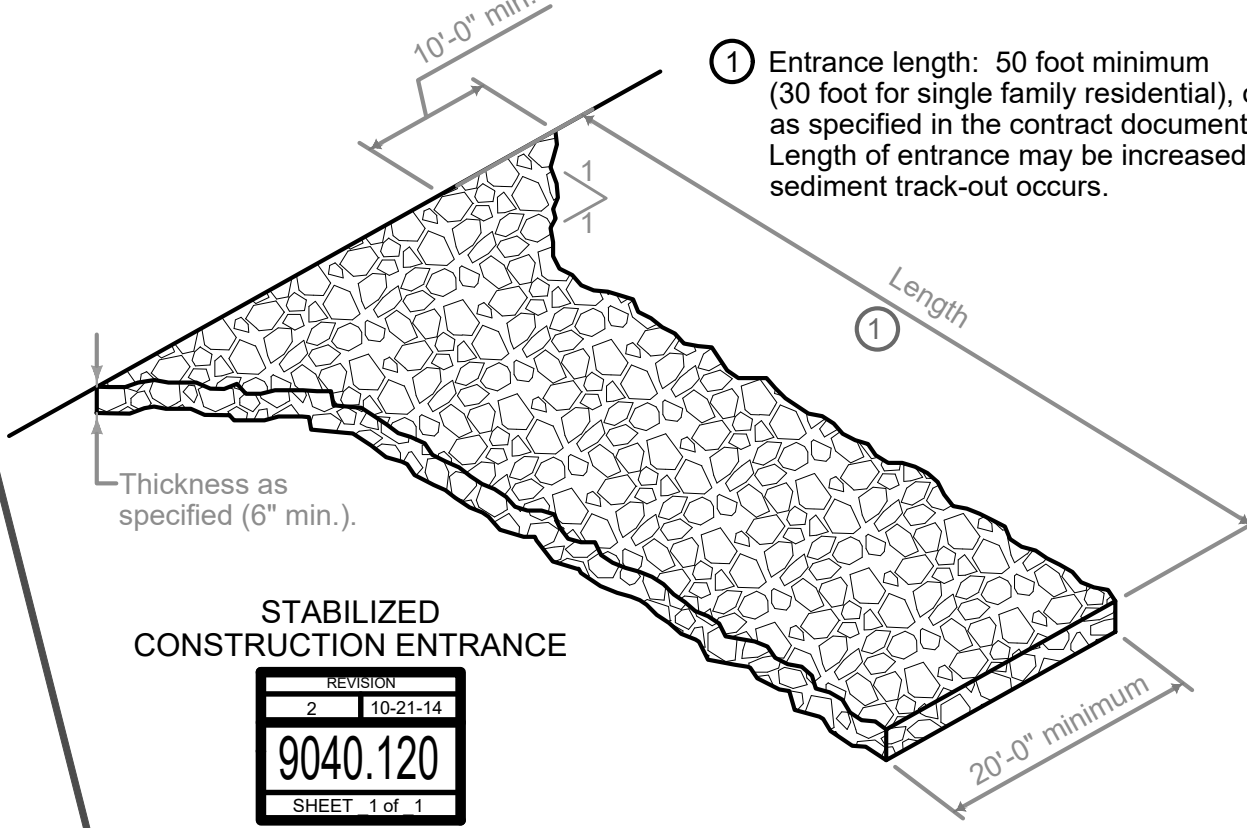
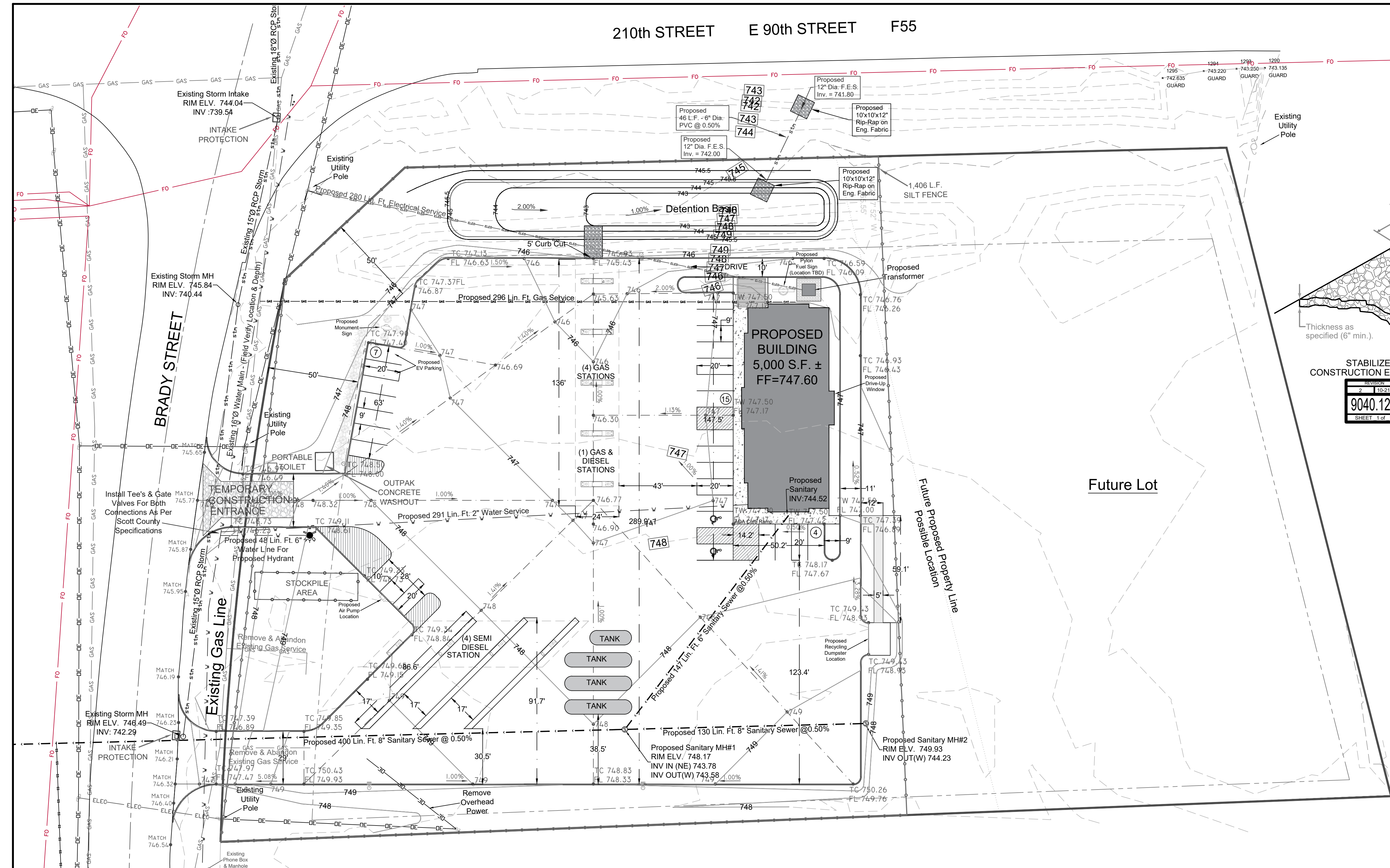


NO.	REVISIONS: DESCRIPTION	DATE

# HODGE CONSTRUCTION

## Big 10 Mart

TO SCOTT COUNTY, IA

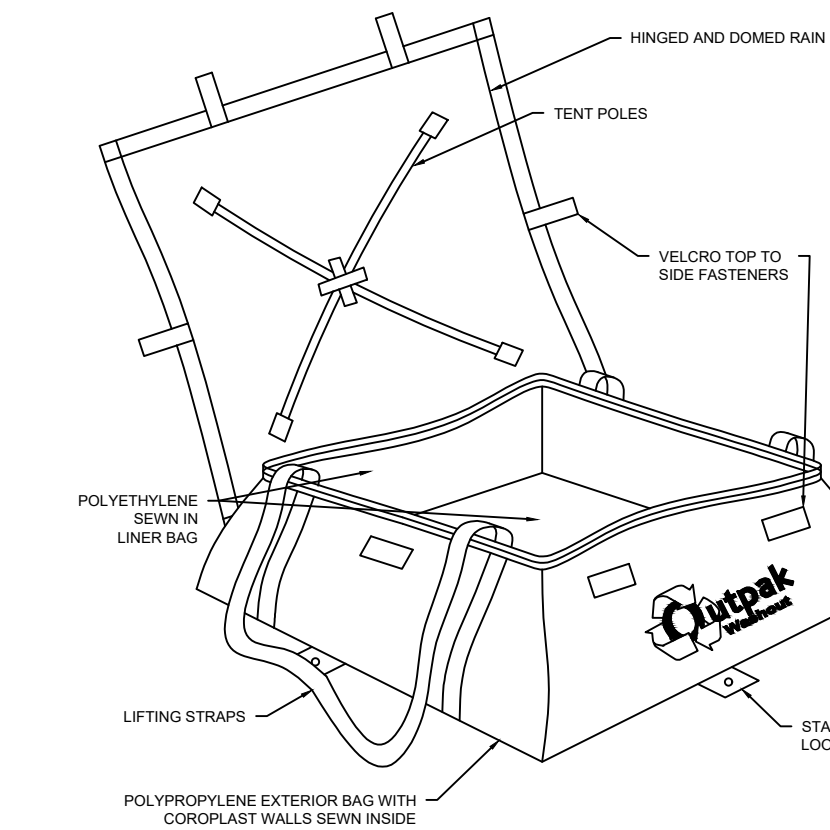
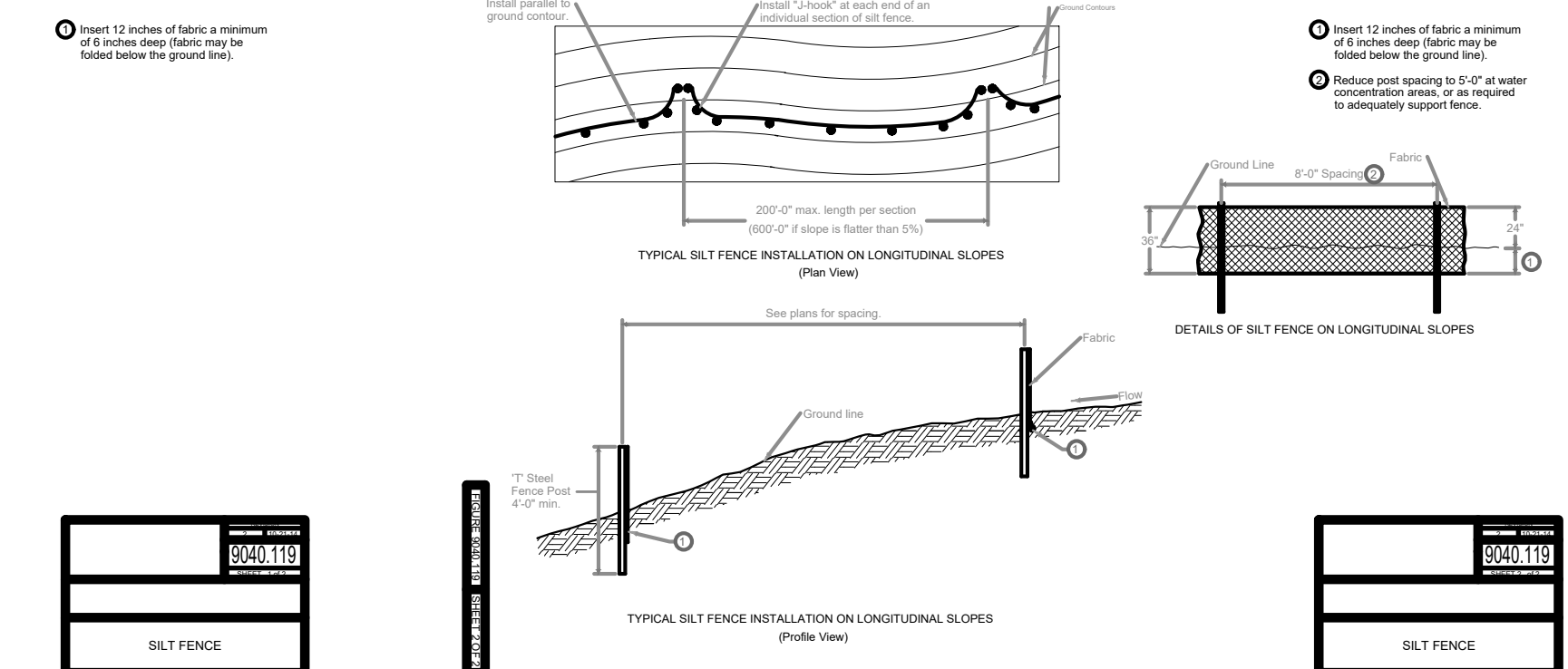
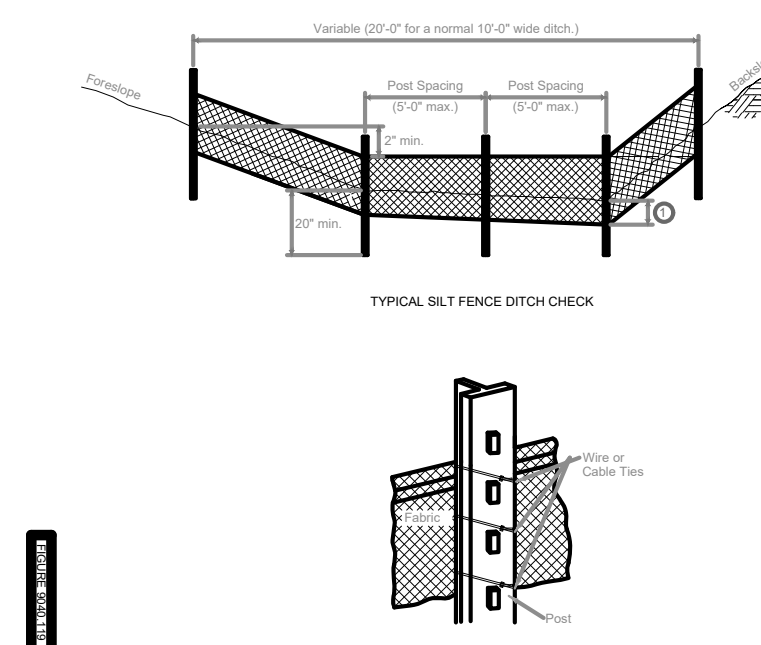


- EROSION CONTROL NOTES:**
- THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SCOTT COUNTY IOWA AND THE IOWA DEPARTMENT NATURAL RESOURCES, LATEST EDITIONS.
  - ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL CONFORM TO THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL, LATEST EDITION.
  - THE EROSION AND SEDIMENTATION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIRED. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER OR GOVERNING AGENCY. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS.
  - PRESERVE EXISTING VEGETATION WHEN POSSIBLE BY DISTURBING THE SMALLEST POSSIBLE AREA DURING CONSTRUCTION.
  - ALL STORM SEWER FACILITIES THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY FABRIC OR GRAVEL FILTERS OR OTHERWISE MAINTAINED TO REMOVE SEDIMENT.
  - ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNERS WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
  - STOCK PILES SHALL BE LOCATED AWAY FROM ANY ROADS, OPEN DITCHES, STORM SEWER OR WATERWAYS. STOCK PILES SHALL BE PROTECTED WITH TEMPORARY SEEDING WITHIN 0 DAYS IF NOT SCHEDULED TO BE USED WITHIN 14 DAYS. SILT FENCES SHALL BE INSTALLED AS NEEDED IMMEDIATELY AFTER SOIL IS STOCK PILED.
  - TOTAL AREA DISTURBED DURING GRADING OPERATIONS = ±4.84 ACRES. AN NPDES PERMIT No. 2 WILL BE REQUIRED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
  - TEMPORARY SEEDING OF ALL DISTURBED AREAS SHALL BE DONE WITHIN 0 DAYS AFTER THE COMPLETION OF SITE GRADING OPERATIONS. IF CONSTRUCTION ACTIVITIES ARE NOT PLANNED OR SUSPENDED FOR AT LEAST 14 DAYS, THE AREA SHALL BE STABILIZED BY TEMPORARY SEEDING AND MULCHING WITHIN 14 DAYS. FAST GERMINATING GRASSES SHALL BE USED FOR TEMPORARY SEEDING (SEE TABLE "A").

TABLE "A" - TEMPORARY SEEDING SPECIES, RATES AND DATES

SPECIES	POUNDS PER ACRE	POUNDS PER 1000 S.F.	SEEDING DATES
OATS	90	90	EARLY SPRING - JULY 1
CEREAL RYE	90	90	EARLY SPRING - SEPT. 30
WHEAT	90	90	EARLY SPRING - SEPT. 30
PERENNIAL RYE GRASS	25	25	EARLY SPRING - SEPT. 30

- ADDITIONAL CONCRETE WASHOUT NOTES:**
- WORK SHALL CONSIST OF FURNISHING AND INSTALLING AN OUTPAK ALL-WEATHER WASHOUT IN ACCORDANCE WITH THESE SPECIFICATIONS AND IN CONFORMITY WITH THE PLANS.
  - WORK INCLUDES PREPARING FOUNDATION SOIL, FURNISHING AND INSTALLING LEVELING PAD, WASHOUT SETUP AND REMOVAL AND DISPOSAL OF WASHOUT.
  - CONTRACTOR SHALL SUBMIT A MANUFACTURER'S CERTIFICATION, PRIOR TO START OF WORK, THAT THE WASHOUT MEETS THE REQUIREMENTS OF THIS SPECIFICATION.
  - THE WASHOUT LOCATION IS AS SHOWN ON THE PROJECT SPECIFIC STORM WATER POLLUTION PREVENTION PLAN (SWPPP) DRAWINGS OR EROSION & SEDIMENT CONTROL PLAN DRAWINGS.
  - CONTRACTOR SHALL CHECK ALL MATERIALS UPON DELIVERY TO ASSURE THAT THE SIZE, TYPE, AND QUANTITIES HAVE BEEN RECEIVED.
  - CONTRACTOR SHALL PROTECT ALL MATERIALS FROM DAMAGE DUE TO JOBSITE CONDITIONS AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. DAMAGED MATERIALS SHALL NOT BE INCORPORATED INTO THE WORK.
  - THE WASHOUT SHOULD BE LOCATED AWAY FROM STORM DRAINS, GUTTERS, OR OTHER STORMWATER CONVEYANCES AS MUCH AS PRACTICAL. DEPLOYMENT AREA SHOULD BE CLEAR OF DEBRIS, ROCKS, AND OTHER MATERIALS THAT AS MUCH AS PRACTICAL. DEPLOYMENT AREA SHOULD BE CLEAR OF DEBRIS, ROCKS, AND OTHER MATERIALS THAT AS MUCH AS PRACTICAL.
  - STAKE DOWN WASHOUT AS NECESSARY. CHECK WASHOUT UNIT FOR LEAKS ENSURING WASH WATER IS NOT LEAKING OUT OF UNIT. DO NOT MOVE THE WASHOUT WHEN WET. IF THE WASHOUT IS MOVED, NOTE THE NEW LOCATION IN THE SWPPP DOCUMENTS AND NOTIFY THE ENGINEER OF RECORD.
  - THE WASHOUT MAY BE USED FOR MULTIPLE WASHOUT EVENTS AND CONCRETE PLACEMENT EVENTS. ENSURE THAT THE DOCUMENTS AND NOTIFY THE ENGINEER OF RECORD.



NO.	REVISIONS: DESCRIPTION	DATE

A

B

C

D

E

1

2

3

4



**Client**  
Big 10 Mart  
123 Southern Ave  
Dubuque, IA 52003



**Project**  
Big 10 Mart Mt. Joy  
20919 Brady St  
Davenport, IA 52804



**General Contractor**  
Hodge Construction Co. Inc.  
767 52nd Avenue, Suite 201  
Moline, IL 61265  
309-762-7977



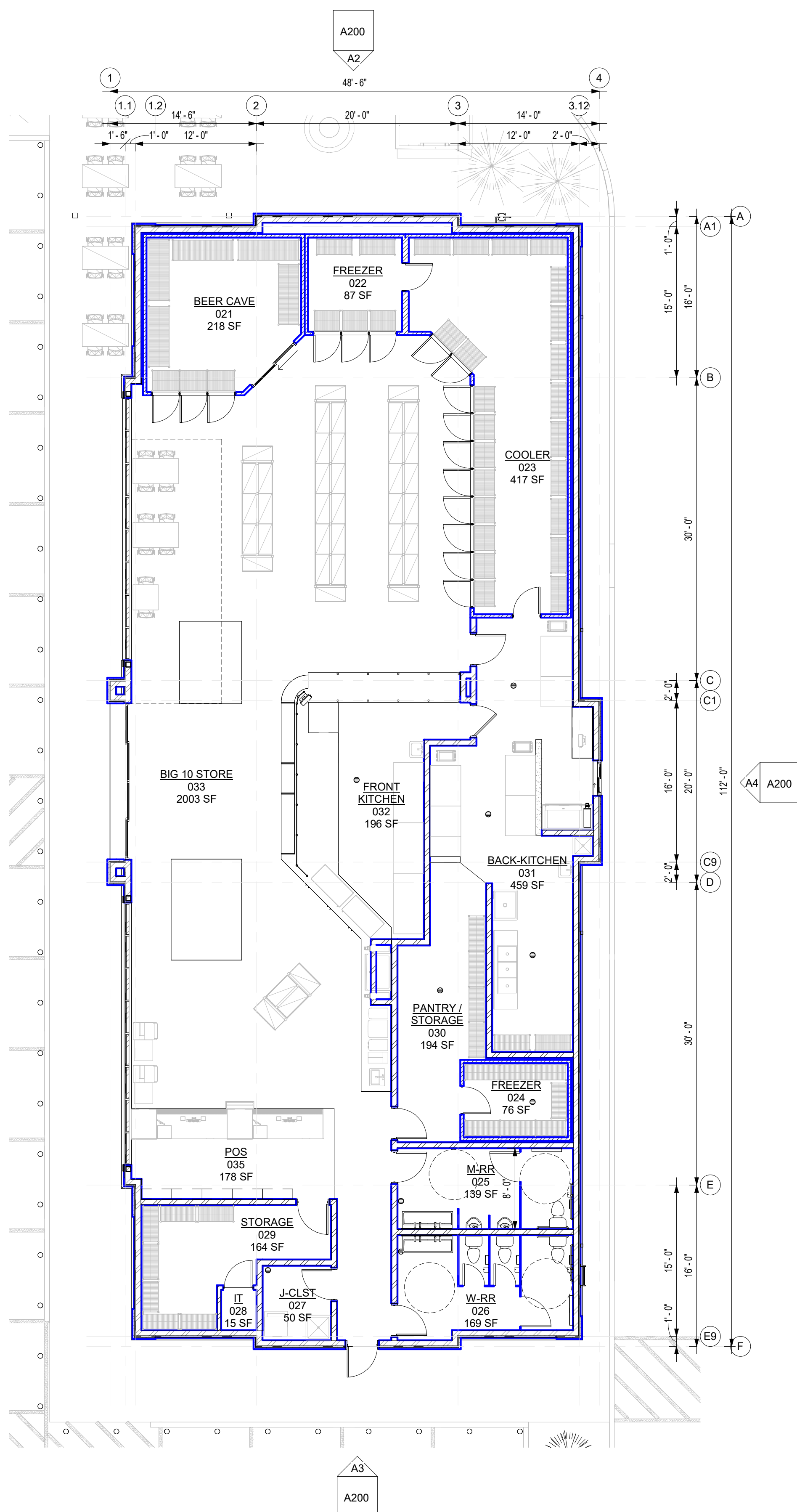
**Architect**  
GTG Architects, LLC  
6505 Merle Hay Road  
Johnston, IA 50131  
515-528-8178



**Structural Engineer**  
Select Structural Engineering  
2435 Kimberly Rd #240s  
Bettendorf, IA 52722  
563-359-3117



**Civil**  
Townsend Engineering  
2224 E. 12th Street  
Davenport, IA 52803  
563-368-4236



A3 FIRST FLOOR  
A100 1/8" = 1'-0"



**FLOOR PLAN GENERAL NOTES:**

1. FIRE & SMOKE RATED PARTITIONS ARE SHOWN ON THE FLOOR PLANS. RE: WALL TYPES. PERMANENTLY IDENTIFY ALL RATED WALLS WITHIN ACCESSIBLE CONCEALED SPACES WITHIN 15 FT OF ENDS AND AT EVERY 15 FT WITH 3" HIGH CONTRASTING TEXT IN A MIN 3/8" STROKE THAT SAYS: "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS"
2. IN 1-HR RATED MASONRY WALLS, PROVIDE MINIMUM 4" SOLID MASONRY BEHIND RECESSED FIRE EXTINGUISHER CABINETS AND/OR ELECTRICAL CABINETS. IN RATED GYPSUM BOARD WALLS, PROVIDE RECESSED FIRE EXTINGUISHER CABINETS. PROVIDE SOLID BLOCKING BEHIND WALL MOUNTED EQUIPMENT, CABINETS, SHELVING, GRAB BARS, RESTROOM ACCESSORIES, AND SIMILAR ITEMS TO BE MOUNTED ON GYPSUM BOARD PARTITIONS
3. ALL INTERIOR DIMENSIONS ARE TO FACE OF GYPSUM BOARD, UNO
4. ALL EXTERIOR DIMENSIONS ARE TO GRID, EXT FACE OF SLAB, SHTHG, PURLIN, UNO.
5. RE: ELEVATIONS FOR LOCATION OF HIGH WINDOWS.
6. STRUCTURAL GRID DEFINES CENTER OF COLUMNS
7. SEE SHEET CP110 FOR WALL TYPES AND GYPSUM BOARD AND PARTITION NOTES.
8. SLOPE ALL STOOPS AND HARDSCAPE MATERIAL AWAY FROM BUILDING.
9. COORDINATE WORK BETWEEN ALL TRADES. NOTIFY ARCHITECT OF ANY INCONSISTENCIES OR CONFLICTS OF WORK.
10. INSTALL TYVEK COMMERCIAL WRAP OR EQ ON THE EXTERIOR OF THE SHEATHING. TAPE ALL JOINTS.
11. INSTALL 6 MIL VAPOR BARRIER ON THE INSIDE FACE OF THE EXTERIOR WALLS. TAPE SEAMS & AROUND PENETRATIONS.
12. WHEN USING BATT INSULATION IN THE STUD CAVITIES, IF USING KRAFT FACE, DO NOT INSTALL VAPOR BARRIER.
13. CAULK SILL SEALER TO CONCRETE FLOOR / FOUNDATION WALL BEFORE INSTALLING TREATED SILL PLATE.
14. INSTALL WEEPS AT LINTELS, THROUGH WALL FLASHING AND AT THE BASE OF WALL ABOVE GRADE NO GREATER THAN 24" APART.
15. INSTALL 1-1/4" WIDE MIN. STAINLESS STEEL METAL ANCHORS FOR AIR GAPS OF 2" FOR EVERY 2.67 SF OF MASONRY OR PER MANUF SPECIFICATIONS.

**DRAWING ISSUE SCHEDULE**

Date	Description
07/21/2023	SITE PLAN PERMIT
08/25/2023	SITE PLAN PERMIT P&Z RESUBMITTAL

Project Status: FEASIBILITY

GTG A Job # 221067

GTG C Job # N/A

Project:

**HCC BIG 10 MART MT JOY**

**FIRST FLOOR**

**A100**

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C

D

E



Client  
Big 10 Mart  
123 Southern Ave  
Dubuque, IA 52003



Project  
Big 10 Mart Mt. Joy  
20919 Brady St  
Davenport, IA 52804



General Contractor  
Hodge Construction Co. Inc.  
767 52nd Avenue, Suite 201  
Moline, IL 61265  
309-762-7977



Architect  
GTG Architects, LLC  
6505 Merle Hay Road  
Johnston, IA 50131  
515-528-8178



Structural Engineer  
Select Structural Engineering  
2435 Kimberly Rd #240s  
Bettendorf, IA 52722  
563-359-3117



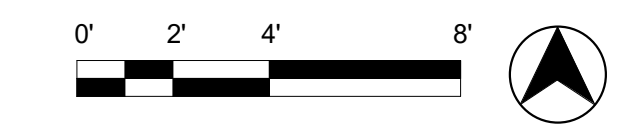
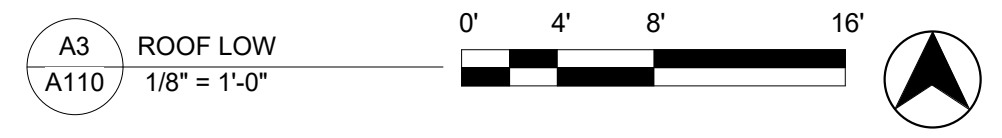
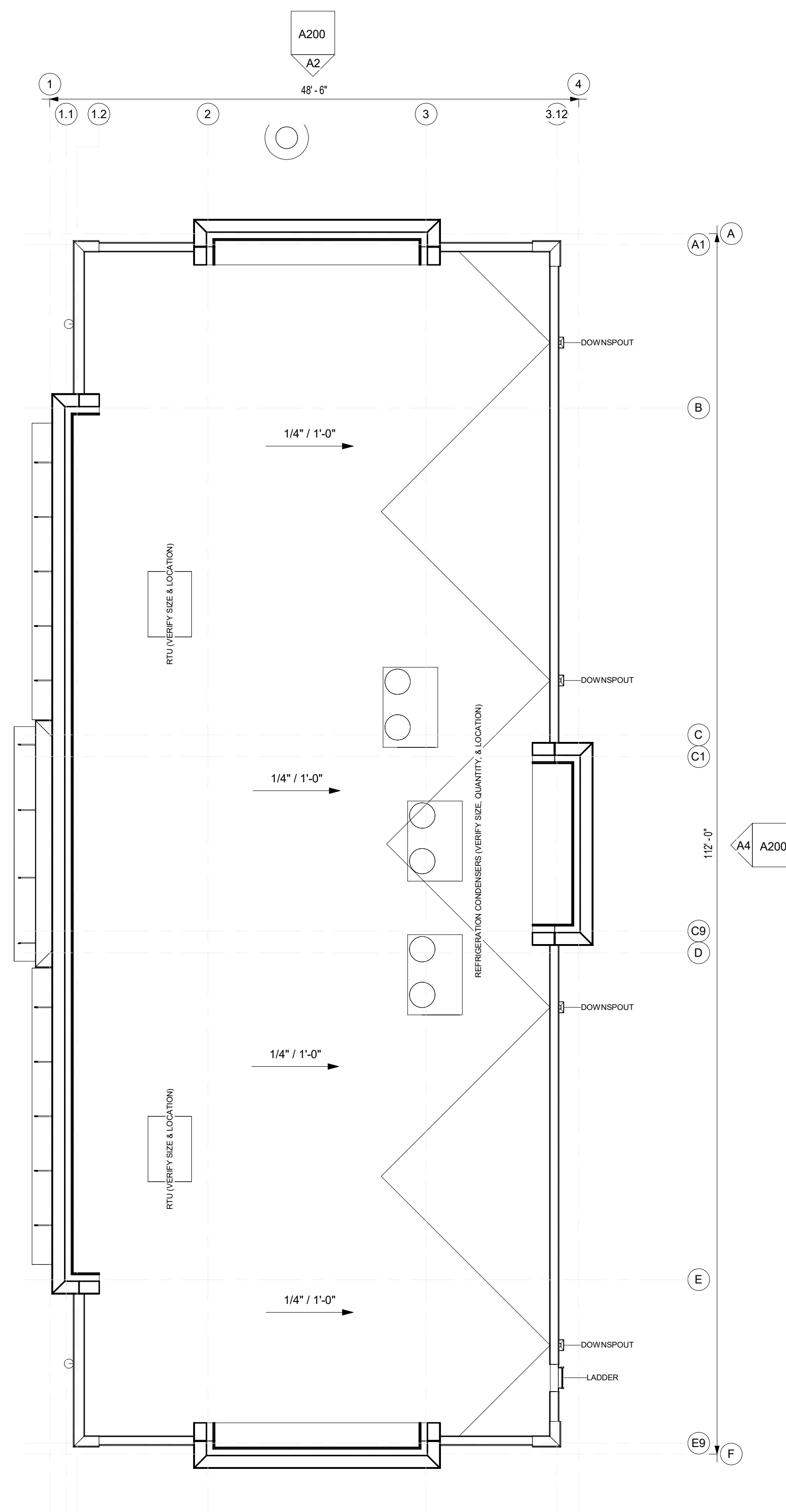
Civil  
Townsend Engineering  
2224 E. 12th Street  
Davenport, IA 52803  
563-368-4236

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DRAWING ISSUE SCHEDULE

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**ROOF PLAN**

**A110**

ROOF PLAN GENERAL NOTES:

- ALL DRAINAGE IS ACHIEVED WITH SLOPED **STRUCTURE**. INSTALL CRICKETS WHERE INDICATED. SLOPE 1/4" : 12" MIN.
- HATCHED SEGMENTS INDICATE PARAPET CAP.
- ENTIRE ROOF TO BE MEMBRANE TYPE.
- NO WALK PADS REQUIRED.
- PROVIDE & INSTALL ALL SHEET METAL TRIMS (COPING CAP, SCUPPERS, COLLECTOR HEADS, AND DOWNSPOUTS) IN MATCHING PREFINISHED METAL.
- FLASH ALL ROOF PENETRATIONS AS NEEDED
- DIMENSIONS TO EXTERIOR FACE OF WALL.

ROOF TYPES:

TYPE 1: ROOF MEMBRANE, MECHANICALLY FASTENED  
**60-MIL TPO** MEMBRANE, 20YR WARRANTY  
RIGID INSULATION, **TWO LAYERS EPS** WITH  
STAGGERED JOINTS FOR A TOTAL THICKNESS OF **6"**  
ROOF DECK, **5/8"** EXT. OSB SHEATHING.

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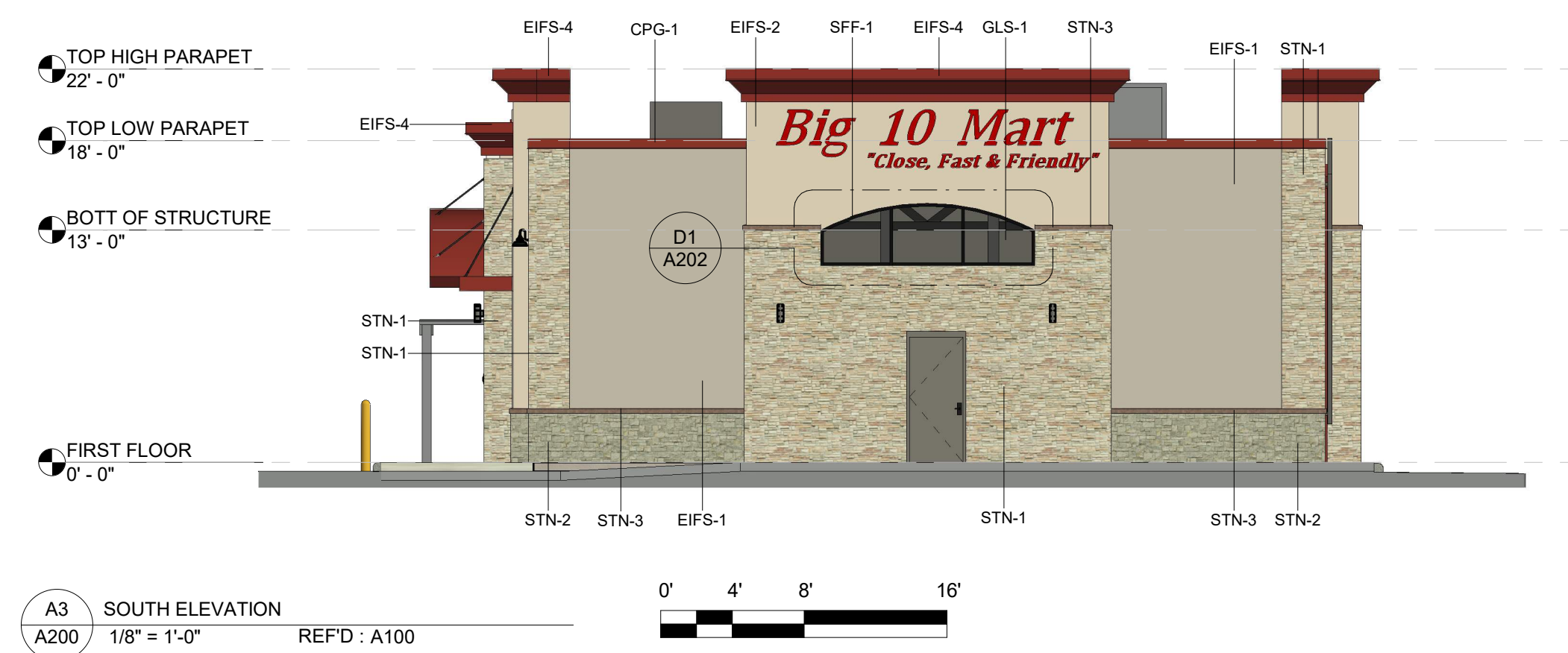
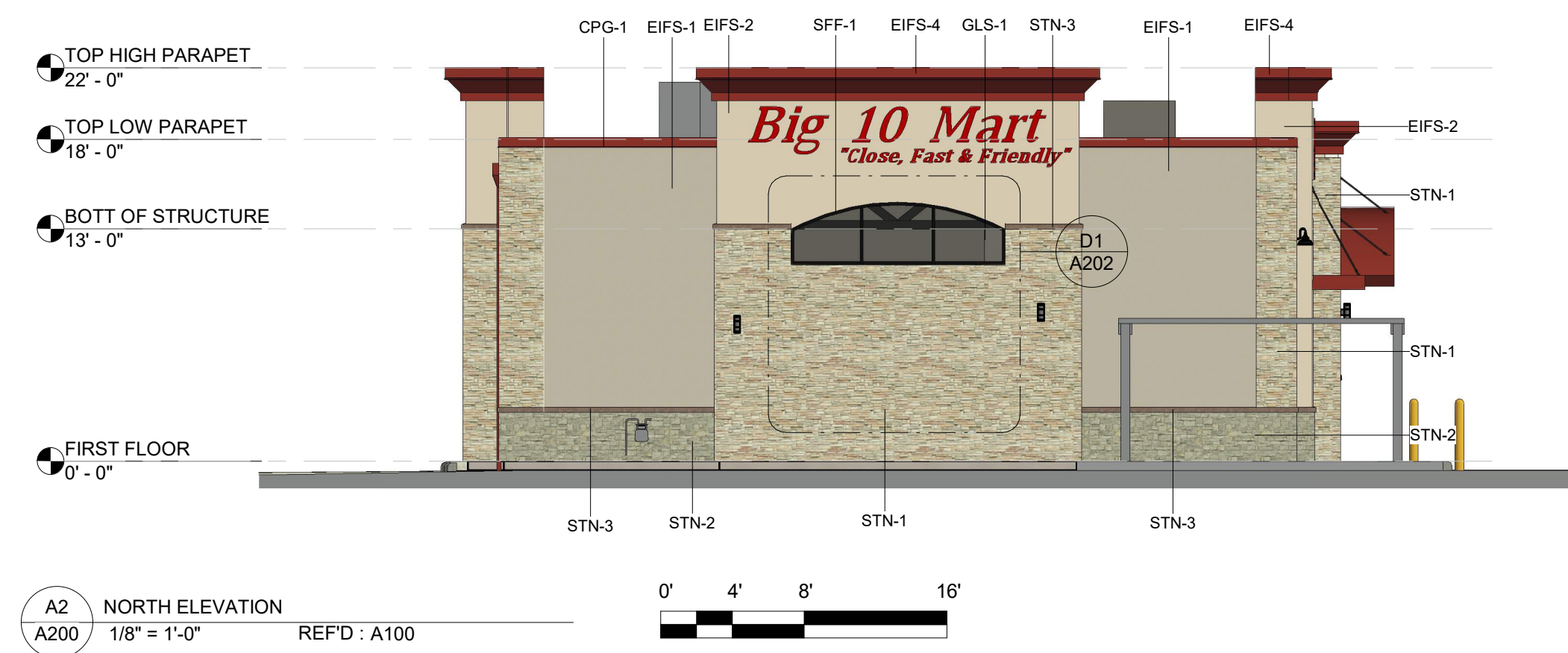
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EXTERIOR FINISH MATERIAL SCHEDULE				
ABBR	PRODUCT	MANUFACTURER / SUPPLIER	COLOR / STYLE	COMMENTS
CPG-1	COPING / DOWNSPOUT / SCUPPER		METAL COLOR MATCH: SW7590 RED OBSESSION	ALL METAL TRIMS (OR EQUAL)
EIFS-1	EXTERIOR EIFS PAINTED	DRYVIT / SHERWIN WILLIAMS	SW7642 PAVESTONE / SANDBLAST	(OR EQUAL)
EIFS-2	EXTERIOR EIFS PAINTED	DRYVIT / SHERWIN WILLIAMS	SW7512 PAVILLION BEIGE / SANDBLAST	(OR EQUAL)
EIFS-3	EXTERIOR EIFS PAINTED	DRYVIT / SHERWIN WILLIAMS	SW7567 NATURAL TAN	WINDOW MOLDING (OR EQUAL)
EIFS-4	EXTERIOR SCULPTED CORNICE	SHERWIN WILLIAMS	SW7590 RED OBSESSION	(OR EQUAL)
GLS-1	EXTERIOR GLAZING			
LGT-1	EXTERIOR LIGHTING			
LGT-2	EXTERIOR LIGHTING			
MAW-1	METAL AWNING FLAT		METAL COLOR MATCH: SW7590 RED OBSESSION	(OR EQUAL)
MAW-2	METAL AWNING ARCHED		METAL COLOR MATCH: SW7590 RED OBSESSION	(OR EQUAL)
SFF-1	ALUMINUM STOREFRONT	KAWNEER	BLACK ANODIZED ALUMINUM	(OR EQUAL)
STN-1	EXTERIOR STONE VENEER	CULTURED STONE	PRO-FIT LEDGESTONE / SOUTHWEST BLEND	(OR EQUAL)
STN-2	EXTERIOR STONE VENEER	CULTURED STONE	PRO-FIT LEDGESTONE / GRAY	(OR EQUAL)
STN-3	EXTERIOR STONE LEDGE	CULTURED STONE	WATERTABLE / TAUPE	(OR EQUAL)

- EXTERIOR ELEVATIONS GENERAL NOTES:**
- ALL GLAZING / WINDOWS SHALL HAVE A TRANSMITTANCE FACTOR OF AT LEAST 50% & A REFLECTANCE FACTOR OF .25.
  -



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Project:

**HCC BIG 10 MART MT JOY**

**ELEVATIONS - BLDG**

**A200**

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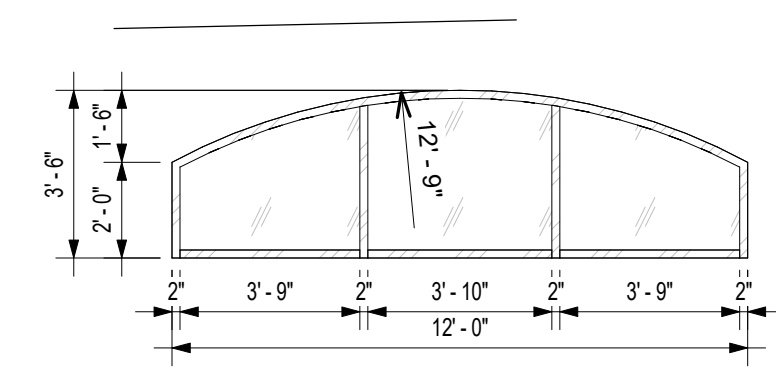
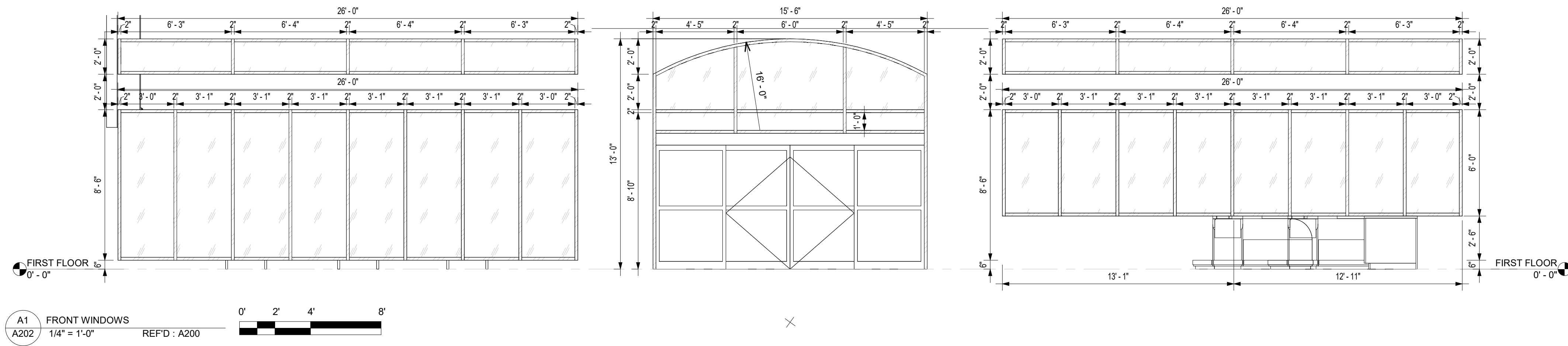
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A1 FRONT WINDOWS  
A202 1/4" = 1'-0" REF: A200

D1 HIGH WINDOW ELEVATIONS  
A202 1/4" = 1'-0" REF: A200



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DRAWING ISSUE SCHEDULE

Date	Description
08/25/2023	SITE PLAN PERMIT P&Z RESUBMITTAL

Project Status: FEASIBILITY  
GTG A Job # 221067  
GTG C Job # N/A  
Project:  
**HCC BIG 10 MART MT JOY**

**ELEVATIONS - BLDG ENLARGED**

**A202**





# SENECA FUEL TANK LAYOUT AND PIPING DIAGRAM



GTG A Job # 221067
GTG C Job # N/A
Project:
HCC BIG 10 MART MT JOY

R100

